

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
AUGUST 11, 2014**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider the minutes of the July 28, 2014 Plan Commission meeting.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Rachel Quinn on behalf of Caterpillar College LLC for the proposed Caterpillar College Preschool to operate from the existing building located at 8411 Old Green Bay Road.
 - B. Consider the request of Randy Copenharve, agent for Uline for approval of **Site and Operational Plan** for the construction of a 1.1 million square foot warehouse Distribution building on the property located at 12575 Uline Drive.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
July 28, 2014**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on July 28, 2014. Those in attendance were Thomas Terwall; Michael Serpe; Donald Hackbarth; Wayne Koessl; Jim Bandura; John Braig; Judy Juliana; and Bill Stoebig (Alternate #1). Andrea Rode (Alternate #2) was excused. Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Village Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE JULY 14, 2014 PLAN COMMISSION MEETING.**

Don Hackbarth:

Move to approve.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY DON HACKBARTH AND SECONDED BY JUDY JULIANA TO APPROVE THE MINUTES OF THE JULY 14, 2014 PLAN COMMISSION MEETING AS PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing we would ask that you hold your comments until the public hearing is held. However, if you'd like to care to raise an issue that's not on the agenda now would be your opportunity to do so. We'd ask that you step to the microphone and begin by giving us your name and address. Anybody wishing to speak under citizens' comments. Anybody wishing to speak? Seeing none we'll move on then to New Business.

6. NEW BUSINESS

Wayne Koessl:

Mr. Chairman, under New Business I'd like to move that we take Items A, B and C at the same time and take separate motions on A, B and C.

John Braig:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JOHN BRAIG TO COMBINE ITEMS A, B AND C FOR PURPOSES OF PRESENTATION BY THE STAFF AND THEN TAKE SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- A. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING PRELIMINARY SITE AND OPERATIONAL PLANS for the request of Theodore Johnson of TJ Design Strategies, Ltd., on behalf of Costco Wholesale Corporation to develop a proposed Costco and associated gasoline facility on the property generally located between 76th Street and Prairie Ridge Blvd., and 91st and 94th Avenues in the Prairie Ridge Development.**

- B. Consider approval of a Certified Survey Map for the request of Theodore Johnson of TJ Design Strategies, Ltd., on behalf of Costco Wholesale Corporation to develop a Costco and associated gasoline facility on the property generally located between 76th Street and Prairie Ridge Blvd., and 91st and 94th Avenues in the Prairie Ridge Development.**

C. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT for the request of Theodore Johnson of TJ Design Strategies, Ltd., on behalf of Costco Wholesale Corporation to create the specific Planned Unit Development (PUD) requirements for the development of a Costco and associated gasoline facility on the property generally located between 76th Street and Prairie Ridge Blvd., and 91st and 94th Avenues in the Prairie Ridge Development.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, we have three items that we're going to be taking up at one time. One presentation will be made. The three items relate to a request by Costco Wholesale Corporation. The first item is Item A, public hearing and consideration of a conditional use permit including preliminary site and operational plans for the request of Ted Johnson of TJ Design Strategies on behalf of Costco Wholesale Corporation to develop a proposed Costco and associated gasoline facility on the property generally located between 77th Street and Prairie Ridge Blvd., and between 91st and 94th Avenues in the Prairie Ridge Development.

The second item is a certified survey map for that same property, again, to develop the Costco as well as the gasoline facility on that site. And then the third item is the consideration of a zoning text amendment, and this is at also the request of Ted Johnson on behalf of Costco Wholesale Corporation to create the specific planned unit development or PUD specially for the development of the Costco and the associated gasoline facility on the property generally located between 77th Street and Prairie Ridge Blvd., between 91st and 94th Avenues in the Prairie Ridge Development.

As a part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's requests, and they're described as part of the staff comments and will be presented this evening.

Findings:

1. The petitioner is requesting approval to develop an approximately 17.5 acre site for the construction of the Costco Wholesale Warehouse and gasoline facility on within the Prairie Ridge Development between 91st and 94th Avenues and between 76th Street and Prairie Ridge Blvd. Specifically, the project will consist of the construction of a 149,505 square foot warehouse retail building that includes a 8,631 square foot attached accessory tire center, an enclosed 4,090 square foot entrance canopy food service center, employee break room, locker area and fire pump room, totaling 153,962 square feet. In addition, a freestanding four island gasoline fueling facility containing 16 pumping positions. The gasoline pumping is located in the northwest corner by 91st Avenue and Prairie Ridge Boulevard and the fueling -- I'm sorry. I should have different glasses. The warehouse is located in the northwest corner of 91st Street and Prairie Ridge Boulevard. And the fueling facility would be located at the southwest corner of 94th Avenue and 76th Street. See Exhibit 1 as well as the slide.

2. Pursuant to the application, Costco Wholesale Corporation operates an international chain of membership warehouses, mainly under the Costco Wholesale name, that carry quality, brand name merchandise at substantially lower prices than are typically found at conventional wholesale or retail sources. The warehouses are designed to help small to medium sized businesses reduce costs in purchasing for resale and for everyday business use. Individuals may also purchase for their personal needs.

Costco's warehouses present one of the largest and most exclusive product category selections to be found under a single roof. Categories include groceries, candy, appliances, television and media, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, tobacco, furniture, office supplies and office equipment. Costco is known for carrying top quality national and regional brands, with 100 percent satisfaction guaranteed, at prices consistently below traditional wholesale or retail outlets. Costco also offers tire installation, pharmacy, one-hour photo, hearing aid, optometry and travel services.

Members can also shop for private label Kirkland Signature products, designed to be of equal or better quality than national brands, including juice, cookies, coffee, housewares, luggage, clothing and detergent. The Company also operates self-service gasoline stations at a number of its U.S. and Canadian locations.

Additionally, Costco Wholesale Industries, a division of the company, operates manufacturing businesses, including special food packaging, optical laboratories, meat processing and jewelry distribution. These businesses have a common goal of providing members with high quality products at substantially lower prices.

3. The property is zoned B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. The B-2 District allows, for the retail sale of merchandise sold at Costco including fresh produce, gourmet deli and rotisserie chicken, fresh meat, fresh bakery, groceries, candy, appliances, television and media, automotive supplies, tires, toys, hardware, sporting goods, jewelry, watches, cameras, books, housewares, apparel, health and beauty aids, tobacco, furniture, office supplies and office equipment and as a permitted use; however, the gasoline facility requires approval of a conditional use permit from the Plan Commission.

The existing signage PUD is associated with the commercial land within Prairie Ridge. On May 15, 2000 the Village Board adopted Ord. #00-43 to create the Prairie Ridge PUD as amended on July 16, 2007 by Ord. #07-28 and July 7, 2014 by Ord. #14-20 and Ord. #14-22. This PUD allows for specific sign requirements for Prairie Ridge Market Place located at 9000, 9020 and 9080 76th Street and allowed for the nonresidential development identification signs to be located within dedicated entry monument easements and to include the names of commercial businesses within Prairie Ridge commercial development areas north of Prairie Ridge Blvd. As discussed below, a zoning text amendment is being proposed to create another PUD specifically for the Costco development.

4. Pursuant to the application, the hours of operation, when the public is allowed to enter or remain on site for business purposes include: The main warehouse Monday - Friday

10:00 a.m. to 8:30 p.m.; Saturday 9:30 a.m. to 6:00 p.m.; and Sunday 10:00 a.m. to 6:00 p.m.. The gas facility hours would be 6:30 a.m. - 10:00 p.m.

5. Pursuant to the B-2 District requirements, deliveries and shipments or any other activities outside the principal building that might cause a disturbance to neighboring areas such as outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup, except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m.

Costco's hours of deliveries typically range from 4:30 a.m. to 10:00 a.m. Monday - Saturday. At this location Costco will not accept deliveries before 5:00 a.m. or after 10:00 p.m. Due to concerns from adjacent land owners, truck deliveries and garbage compactor usage/pickup shall not begin before 6:00 a.m. due to the proximity to the residential apartments and hotel neighbors. The hours for deliveries would then be 6:00 a.m. to 10:00 p.m. No gasoline, garbage or delivery trucks running or back up beeping noises or trash compactor running noises shall be made before 6:00 a.m. The exception to the Village noise ordinance is snow-plowing which can occur at any time. The Village quiet hours per the ordinance are 10:00 p.m. to 7:00 a.m.

6. Pursuant to the B-2 District and liquor license requirements, the business is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 a.m. to midnight, and Class A Intoxicated Liquor is only allowed to be sold from 8:00 a.m. to 9:00 p.m. A liquor license shall be requested and obtained from the Village Board. But as I noted previously their hours are shorter than that. So the liquor license would run to their hours of operation.
7. The owner shall obtain and maintain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, and they would be issued from the various government agencies. With respect to the Village licenses, the Village Clerk Jane Romanowski would need to be contacted for liquor or tobacco license applications, and anything related to the Health Department or food related licenses would be through Kenosha County.
8. Pursuant to the application, 150 employees, 50 percent full time and 50 percent part time will be employed at this facility. Employees come in at random times throughout operational hours; therefore, there are no specifically defined shifts. The peak number of employees at one time in the warehouse is approximately 75.
9. The Village Zoning Ordinance requires the minimum on-site parking for retail stores: one space for each 200 feet of primary floor area plus one space for every 2 employees plus the required number of handicapped accessible parking spaces required by the code.

575 spaces would be required, 115,016 square feet of main sales space and tire sales area, primary floor area divided by 200 square feet plus 75 spaces so a total of 650 parking spaces are required plus the required handicapped accessible parking spaces.

And their application does identify that there will be 692 total parking stalls including 17 handicapped accessible spaces, so their parking meets the minimum as required by the Village ordinance.

Pursuant to the application, the facility is expected to generate 720 new automobile trips during the weekday evening peak, 360 entering vehicles and 360 exiting vehicles. In addition, eight to ten trucks per day, Monday thru Saturday for deliveries are expected.

10. The development also shall provide pedestrian sidewalk connectivity to the existing public sidewalks located on the perimeter of the site adjacent to 76th Street and 91st and 94th Avenues. The on-site walkway/sidewalk connections to the public sidewalk adjacent to 76th Street is acceptable, but some depressed curb in the parking lot and striped markings on the pavement are going to be needed. A similar sidewalk connection to the public sidewalk in 94th Avenue shall be provided. The curb stops along the walkways and adjacent to the west side of the building are acceptable to allow for pedestrian and cart movements. The remainder of the parking lot islands are required to have curb and gutter.
11. Certified survey map, and this was provided as Exhibit 2, the CSM proposes to show all existing and additional easements dedications and easement provisions. Additional right-of-way shall be dedicated for 94th Avenue on the CSM per the Wisconsin DOT plat for future widening of Highway 50, and there's a plat that's been provided to them. Also the traffic patterns will need to be re-examined up at this intersection especially at 91st and 94th Avenues at 76th Street. These locations will need to either a three way or four way stop signs or some other controls. We'll need to look at that. They will be required to provide some additional traffic study information for us to evaluate that.
12. Zoning text amendment provided as Exhibit 3, a Planned Unit Development (PUD) is proposed for this development since more than one building is proposed and the Costco building exceeds 25,000 square feet. Below are a list of dimensional variations and other matters being requested as part of the PUD. The following is included in the PUD as requested by the developer:
 - a. Modify 20 foot driveway setback adjacent to Holiday Inn to 8.8 feet on the north side.
 - b. Modify 35 feet wide driveway widths to 40 feet width to accommodate deliveries and emergency vehicle apparatus.
 - c. Modify building square footage from 25,000 per the B-2 to the 153,962 square feet and to allow two buildings on the property.
 - d. Modify the canopy setback from 65 feet from Prairie Ridge Boulevard to 30 feet.
 - e. Modify gas signage square footage from 75 square feet to 80 feet.
 - f. Modify signage square footage from 300 to 500 square feet for the entire building.

- g. Modify the provision that no outside sales or storage to allow one two-week outdoor Christmas tree tent/truck sale in December each year adjacent to the building.
- h. Modify lighting standards heights requested at 30 feet from grade including concrete bases with a maximum height at 36 inches. This is acceptable provided that all lighting bases shall be in landscaped islands.
- i. Modify building materials to allow stucco appearing metal panel materials on the building. Gas controller enclosure shall have a variety of materials and colors. The stucco appearing orange peel may be used but not smooth or ribbed metal panels.

Two of the PUD requests would be modified as follows:

- a. Modify monument sign requirement required with address. After further discussion a small primary monument address sign shall be installed. The sign shall be constructed of stone/brick or other approved materials to identify the full address of the Costco facility at 7775 94th Avenue at the main entrance on 94th Avenue. The sign can be located in the island or off to one side. It shall be a minimum of four feet tall with the address no closer than 18 inches from grade. The sign shall be set back a minimum of 15 feet from the property line. In addition, landscaping shall be provided at the base of the sign.
 - b. Modify delivery hours to accept deliveries from 5:00 a.m. until 6:00 a.m. is what was requested. The staff met with and received objections from the adjacent land owners. The delivery hours cannot begin before 6:00 a.m. The hours do conform with the Village ordinance requirements, and both Holiday Inn as well as Cobblestone were concerned with having earlier delivery times.
13. As required as part of the PUD, the site shall be equipped with fully functioning and operational security cameras outside of the building covering each entrance and exit, all public areas including the dispenser area, the parking lots and the driveway entrances to the site with a Digital Security Imaging System or DSIS in accordance with the requirements of Chapter 420 of the Village code. Attached that we provided to the applicant were the draft DSIS agreement and the draft DSIS easement which will need to be finalized. This would be a system that would be owned and operated by Costco. The Village would not have any operational responsibilities for the camera system.
14. Pursuant to the application which is provided as Exhibit 3, the design of Costco Pleasant Prairie represents a unique contextual response to the Village and Prairie Ridge development. The materials of the building reflects various rich textures in earth tones including textured panels, intermixed with split-faced CMU, structural brick, variegated lannon stone veneer and accent steel. Compositionally, each façade has been designed with a base, body and cap which together with material, textural and color variations successfully break up the continuous surface. The masonry elements provide a strong base with anchored corners, while the customer entry is a well defined lighter space

featuring glass slider and sectional doors providing comfort from the elements. Subtle details at the entry focus design for the shopper's experience upon entry, creating deep and wide openings with treatments in stone and CMU signifying the concept of threshold. Costco also intends to provide extensive landscaping, particularly along our southern and western properties boundary between the warehouse and homeowners and hotel clients.

In addition, Costco maintains a sustainable practice design approach. Green building design is integral to the design, construction, and performance of the prototypical Costco warehouse site and building.

So some of the innovation in site development and building design include:

- Utilize local and regional labor and materials.
- Reducing heat island effect with light reflective roof coating
- Centralized energy management system maximizes efficiency of lighting, HVAC, and refrigeration systems.
- Over 200 Energy Star rated skylights within the building provide day lighting throughout 100 percent of the warehouse sales floor.
- Non-VOC floor sealant covers 100 percent of concrete warehouse sales floor.
- Heat-reclaim system within the refrigeration systems is used to heat warehouse water.
- Refrigeration is based upon atmosphere-friendly cooling system.
- High efficiency restroom fixtures provide 40 percent water savings over fixtures currently required by code.
- Use of native species landscaping and drip irrigation reduce potable water consumption.

With respect to their pre-engineered architectural metal panel building system, a key green building design component is the reliance upon the pre-engineered architectural metal panel building system which contributes to achieving significant sustainable building practice benefits.

- Architectural metal wall panel and insulation system provides twice the insulation value over concrete masonry.
- Pre-engineered metal warehouse structure, walls, and roof use 80 percent recycled steel material.

Architectural Metal Panel versus Traditional Concrete Masonry: Significant advantages of Costco Wholesale's pre-engineered architectural metal panel building system compared to a traditional masonry wall system: It qualifies for

2009 LEED credits; complies with 2004 Energy Code; lowers energy costs. Total energy consumption for heating and cooling over lifetime of warehouse is less.

15. Pursuant to the application, it is the intent that the Costco Development will provide for structures, improvements and uses in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying B-2, Community Business Zoning District, with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the additional goal of encouraging proper maintenance of the structures, landscaping, sitting areas, parking areas, lighting, signage and general site development so as to promote an attractive and harmonious commercial development area and seek to achieve a commercial/business environment of sustained desirability and economic stability, which will operate as a uniform commercial development with the surrounding commercial properties as well as avoids unreasonable adverse effects to the property values of the surrounding properties and surrounding neighborhood.

Costco's business concept is premised by offering a limited assortment of nationally-branded, first-quality products in a wide variety of categories, at prices significantly below traditional wholesalers, discount retailers and supermarkets. A significant portion of Costco's customer base is small and medium size businesses which purchase for commercial use and also individuals who are members of qualifying groups. The product line consists of typical department store merchandise. Costco also offers tire installation, pharmacy, one-hour photo and the other items that I had mentioned previously. Costco's mission is to continually provide their members with quality goods and services at the lowest possible prices. In order for Costco to achieve this mission, they conduct their business with code of ethics in mind.

Costco pays among the highest wages in the industry. Its US average hourly wage is \$20.90. U.S. hourly wages examples include Service Assistant \$11.50 to \$20.30 per hour; Service Clerk \$12.00 - \$22.00 per hour; Meat Cutters \$12.00 to 23.50 per hour. Long term employees are also eligible for extra checks of \$5,000 to \$8,000. A full time cashier's annual salary after 5 years is \$50,760. Costco also provides a tremendous benefit package including medical, dental, vision, pharmacy, mental health, life insurance, disability, long term care, employee assistance program, flexible spending accounts, employee stock purchase program, 11 holidays per year, college student retention program, free Costco membership with 2 percent reward and 401(k). Part-time employees working more than 23 hours per week receive core medical, dental and vacation benefits after six months. Part-time employees are guaranteed 24 hours per week. Costco promotes from within, thus great opportunities for career advancement.

Finally, Costco also benefits the community via multiple levels to include jobs, curbing retail leakage, property tax generation, local services, community involvement. Some of those community involvement examples include one percent of pre-tax profit is designated annually for charitable organizations. Adopt-A-School Reading program. Costco employees volunteer to help students in first through fourth grades improve their reading skills. Currently there are 135 programs across the United States and Canada.

Children's Hospital Campaigns. Fresh Start Backpack program and communities in schools.

16. Build out typically takes approximately five to six months, which would include stocking merchandise and hiring personnel. Pursuant to the application, Costco anticipates that the facility will be open for business by August 2015.
17. The property owner and all of the abutting and adjacent property owners within 300 feet were notified via U.S. Mail on July 10, 2014, and notices were published in the *Kenosha News* on July 14 and 21, 2014 related the public hearings. In addition, the petitioner received a copy of this staff report via e-mail on July 25, 2014.
18. According to the Village Zoning Ordinance, the Plan Commission shall not approve a conditional use permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Ordinances and meets the minimum standards for granting of a conditional use permit. In addition, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and will comply with all other requirements of applicable federal, state or local statutes, regulations, ordinances that cover buildings, use, development control, land division, environmental protection, sewer, water and storm service, streets, highways and fire protection.

With that I would like to continue the public hearing. And there are representatives from Costco. I'll introduce Ted first, Ted Johnson. I'm not sure if he has any specific things that he would like to discuss. Otherwise they'll be making some additional presentation and video that we will see from Costco to learn a little bit more about the company and their background.

Ted Johnson:

Thank you, Jean. My name is Ted Johnson. I am president of TC Design Strategies located at 2311 West 22nd Street in Oakbrook. I for the past 21 years have been Costco's development manager for Midwest projects. With me tonight is Brian Whelan. He works with the real estate arm of Costco. Brian is the initial one on the ground finding the site. Once he finds a site then I get involved for the development end. Brian's got a few words to say, and then I'm also here for answering any technical questions. And I'd like to thank Jean for a very thorough presentation. I don't think we have much more to add. Brian?

Brian Whelan:

Thank you. My name is Brian Whelan. My address is also 2311 West 22nd Street in Oakbrook. And I manage Costco's real estate expansion program throughout the Midwest. Ted and I have worked together on most of our Wisconsin projects, and we're quite excited to have the opportunity to be before you today. And hopefully we'll be able to open in your community soon.

Staff did a wonderful job of conveying many of the attributes of Costco and about our business. I wanted to just give a brief overview. Some of the things are duplications, but more than anything offer you the opportunity to ask me questions. Because we are unique and different. Many people categorize us as retailers, and while we have a big retail component to our business we are clearly differentiated in many, many ways.

So if you could go to my first slide please. The name of the company is Costco Wholesale. The company was started in Seattle as a wholesaler to serve small and medium sized businesses who were just simply too small to get to the attention of any distributors. So it started out that way to be a niche provider to those kind of businesses. And it evolved into what it is today. And that is that we're a combination wholesaler retailer.

We are membership based in the sense that you have to have a membership to shop at Costco. And we have two types of memberships, businesses and individuals. I think the depth of our importance to the small business community can be measured to the percent of our sales that is made to our business members, and that's approximately 50 percent of our overall sales goes to our business members. Now, I can't tell you that they're using all of it at their small business. A small business member may buy things for their personal use with their business account as well. But I can tell you that serving the small business community is an integral and important part of what we do. And when we come to a community that's one of the things we look at. How many small businesses are in the community, where are they located, and we want to make sure that we're convenient such that they can get to us easily.

The other thing that's different about us as we've mentioned there is that we have a very limited selection of products. If you've ever been into a Costco this may not be obvious to you. But we only carry approximately 3,800 skus, it stands for stock keeping units, it's just items. To give you a comparison a typical supermarket will have 50,000, maybe 65,000 different products. Woodman's here we're shocked by it. It probably has 100,000, maybe 200,000, I'm not sure how many they have. They have a lot.

But what that means for our business is that we have lot of breadth of product. As staff mentioned we have tire centers, we sell food products, we sell fine diamonds, fine wine. But we have no depth in any one product category. An example that I like to give is mayonnaise. As simple as a product as that is if you go to Costco you will most likely find one kind of mayonnaise, one brand, one size, that's it. If you went to Pick 'N Save I bet they have 50 different sizes, different flavors, different types of containers. It's an example of what our business is all about. What we like to do is pick the product in any one category that we think delivers the best value to our members. It may not be the most expensive product in the category, it may not be the cheapest product in the category. But it's the product that we think delivers the most value, and then we just buy a bunch of it at the lowest price we possibly can and pass that savings onto our members.

It's a really unique difference in terms of how our business operates than what would be known as traditional retailers, and that carries out throughout all our different product categories. Because of that we think that we have a fantastic savings on the products that we do carry. And we have an internal discipline that we will not mark up any one product more than 15 percent. So there becomes very strong differentiations in product categories where margins are out of whack. We're the largest fine wine merchant in the world. As you know wines get significant markups,

and when we have that discipline of buying few items in that category and then passing on those savings we can really show great value to our members in that regard.

We've become big. We have 658 we call them warehouses. The very first Costco was in an old warehouse in Seattle so we've kept that moniker for our company. But we're in many countries. We just opened in Spain this year. We have 465 units in the United States and we have five in Wisconsin. While we have what appears to be many the company's been around a long time, and we only expand by about 25 to 30 units a year. Last year I believe we expanded with 29 locations, and only half of those were in North America. So we don't do a lot every year, but we do the same amount year in, year out, and they just continue to add up.

Don Hackbarth:

Is that North Korea?

Brian Whelan:

No, it's South Korea. Actually I spent the last three year living in Japan working on Costco projects, and some of those Korea ones are mine. So I have a personal relationship there. But we have five in Wisconsin, two in the Milwaukee area, two in the Madison area, and then last fall we opened in the Green Bay area. And our strategy there's not a lot of complication with it. We typically go to the bigger cities first and then work our way to the next size cities. We're very excited to have the opportunity to come here.

Again, we've become when you measure us by sales relatively large. We're the third largest in the U.S., fourth in the world, and a pretty big company when you measure it by Fortune 500. Company sales are \$107 million estimated this year. We have very high volume locations. The average Costco does approximately \$160 million per year. We have 194,000 employees worldwide, and we do over \$2.3 million transactions a day. So it's become a big location, but it's amazing how small the company continues to be in terms of we have had the CEO of Costco in Pleasant Prairie looking at this site. They look at every site. We've had the founder of Costco here looking at this site. They take a very personal approach to the expansion of the company and making sure that we make the right real estate decision. So even though we're big they look at every detail of our expansion efforts.

Tom Terwall:

Privately held?

Brian Whelan:

Pardon me?

Tom Terwall:

Is your company privately held?

Brian Whelan:

No, it's a public company. We have quite a few members. We're in about 41 million households, almost 75 million people have a Costco card. And what we're most proud of is that we have in North America, Canada and the U.S. a 90 percent renewal rate. So our members get a chance very year to vote to see how we're doing. They do not have to sign up for another year. And when you think about people that their personal circumstances does not allow them to be able to renew, they've moved or what have you, the fact that 90 percent of our members sign up again is a sign we think of the confidence that they have in our business.

Relative to this area you may find it of interest that in the trade area that we've designated we have approximately 5,000 households in this Kenosha/Pleasant Prairie that have a Costco card. And our closest Costco is I believe about 22 miles away. So there's a lot of local people that have chose to become members and are driving to visit us.

The last thing I want to mention, and we've had some great press about this, is relative to our employees. Staff did a good job of outlining our compensation program, and it truly is differentiated. Many times people put us into the retail box. And I spend a lot of time meeting with economic development people. And when I go in and I tell them that our very minimum wage is \$11.50 an hour and that after five years those people make over \$50,000 a year they tell me that's like many of the light industrial jobs that they're trying to entice to come to the community. So it's a big differentiation between us and other people or many people I should say that are in the retail environment.

A lot of companies say that they have benefits, particularly a lot of retailers when they have benefits, but not many people will sign up for them because they may not be good or they may be expensive. We're very proud of the that 98 percent of our employees that are eligible for benefits actually enroll in those benefits. And then, again, staff mentioned our wage rates and I did as well. The last thing, and this is kind of like our membership renewal, we take great pride in measuring how we're doing with our employees by how long they stay. As you may know in the retail world there's typically a lot of turnover. For us employees that are with us for more than one year which we think those are the people that actually want a longer term tenure, our turnover is about 5.6 percent after a year. Those numbers can be much, much higher in many other retail environments.

So that was really the extent of the slides that I prepared to kind of build upon what staff reported in their summary to you. And I certainly can answer any questions now or later as the conversation progresses about our business.

Tom Terwall:

Thank you. This is a matter for public hearing. is there anybody else wishing to speak? Jean?

Jean Werbie-Harris:

There was one thing that I didn't mention as part of the site, and Peggy is going to bring up the parking/landscaping slide. And that is one of the neighbors to the future Costco is just to the south/ southwest is the Holiday Inn Express. And then just across the street is the Cobblestone.

And we've got BMO Harris over here, and just to the west just off the slide is St. Catherine's Hospital just to make sure everybody has it in perspective. But at this time there is existing cross-access that brings you from Prairie Ridge Boulevard onto what would be the Costco property and then crosses almost 200 feet to the west and then enters into the Holiday Inn Express property.

After several conversations with Holiday Inn Express and conversations with Costco we felt that having this connection and bringing additional traffic, whether it be their clients or their trucks or anybody coming to the site, we felt that that connection is probably not a good one to keep. Costco has an access from 91st Avenue, they've got one on the north end, one on the south end which is their employees and their trucks. We've got an access from 76th Street which is just south of Highway 50, and this is 94th Avenue. They're going to have another main entrance at this location. So they have multiple access points.

Holiday Inn has their main entrance off of 94th Avenue. And so in discussion with J.P. who is the owner and manager at Holiday Inn Express we had suggested that their driveway come straight out from their parking lot and enter right onto Prairie Ridge Boulevard, and that this cross-access leg right there that that be eliminated, and that the cross-access easement essentially be vacated and go away. And I've had, again, a number of conversations with him, and they support that concept in redefining their access coming straight out as opposed to maybe sharing it with several hundred other people.

So that makes it a little bit easier for Holiday Inn Express with traffic coming in and out to their site as well as kind of more clearly defining where the access points for the Costco traffic is going to come in and out. That way we really try to separate the residential traffic south and to the west for the retail or the wholesale or the warehouse traffic to the north. So we're trying to really kind of separate that. Normally cross-access is a good thing. But in this case we really felt that it's probably not one of the best things to do for this particular location.

In addition, I don't know if you noticed and it's hard to tell on a slide like this, but this is really intensively landscaped. Even a little bit more so than what we see out at the shops out by the Target area. I mean they've got some significant berms right here. I've asked them to just dip this berm down here a little bit more, and the plantings here and the plantings all right here. There's a retaining wall actually right there and additional plantings. I'm not sure, maybe Ted could tell you how many thousands of plants. I really don't know at this point because we're going to take it to that next level.

But we did want to make sure that the site was intensively landscaped all the way around, and they did a really great job at doing that in addition to adding some additional architectural features on the east elevation and adding some additional landscaping at that location as well. So I just wanted to point out a couple of those things to you with respect to that's why there were a number of Xs right there because it's the intent that that would not be a cross-access.

Tom Terwall:

Is there anybody else wishing to speak on this matter? Anybody else? Hearing none I'm going to open it up to comments and questions from staff and I'll begin. You said some of your customers will be both wholesale and retail, correct?

Brian Whelan:

That's correct. We will have some small businesses that will be wholesale oriented, and then also individuals who will be retail oriented.

Tom Terwall:

And then the wholesale side of business they will not pay sales tax to you because it's a resale item, correct?

Brian Whelan:

It depends. I mean some business items do have sales tax, but on the resale items typically is not.

Tom Terwall:

Because what I was wondering is how can you differentiate between is this a wholesale sale, therefore I don't have to collect sales tax, or is this for the vendor's own person use in which case you would have to, is that correct?

Brian Whelan:

You know I have to apologize. I do not know the specific process in Wisconsin. In many states they have to provide information to us when they make a wholesale sale that we then report to make sure that everyone is doing thing properly.

Tom Terwall:

Thank you.

Michael Serpe:

With reference to the gas station is there any diesel fuel going to be offered for light trucks and automobiles?

Brian Whelan:

No, no.

Michael Serpe:

And there won't be an electric charging station as well?

Ted Johnson:

Last week there was a master plan change, and in areas where we can we would like to add diesel. It would be on two of the 8 pumps. And it would require an additional underground storage tank. And it's strictly for cars and light trucks. It's not to --

Michael Serpe:

It's becoming more and more popular.

Ted Johnson:

We're finding that out on the West Coast, and just last week I got the email, and it said wherever you can implement diesel in your approvals please do.

Jean Werbie-Harris:

That's fine. I think we might have talked about it, but at that point you weren't sure whether or not that was going to be an option.

Ted Johnson:

Exactly, and they just made their decision last week.

Michael Serpe:

And there's no plans for electric charging stations for electric vehicles which I think it probably not long for this world.

Ted Johnson:

We're looking at it. We do have it in Canada. Our development team out on the West Coast in Seattle is working with both the Department of Energy as well as the automakers to see when it makes sense to introduce it on a mass scale. It doesn't right now but we are looking at it.

John Braig:

Is the charging of electric vehicles done by a standard or universally accepted device?

Ted Johnson:

That's what the issue is. There really isn't a standard or universal, and we're not going to come out with the charging station that can only handle GMs. The automakers have to get their act together first. And once they do when a universal plug is on all of these you'll probably see them popping up.

Don Hackbarth:

I'd like to ask what curbing retail leakage means. That sounds kind of threatening to me.

Brian Whelan:

I mentioned there's 5,000 households that currently have Costco cards here, and they are spending their local tax dollars most of them in Illinois now. So if we put a Costco in this location they will no longer have to travel to Illinois, and those sales tax dollars will come back in this case to the State of Wisconsin.

Don Hackbarth:

You talked about limiting your variety of product like one size mayonnaise and that. What about tires because some people are going to like Michelin and some are going to like Goodyear. Do you have more than one brand of tire?

Brian Whelan:

We have a similar philosophy in that regard, and we typically have the higher end tires, the higher quality tires in terms of our assortment. But, yes, it's the same philosophy. We do not have a complete full breadth. But for most automobiles we have tires that meet those specifications.

Don Hackbarth:

So you're saying you have one brand of tire?

Brian Whelan:

No, we don't have one brand. There's multiple brands of tires, but we wouldn't have as many options as a tire center for example.

John Braig:

I guess I don't have as much of a question as a reminder to the staff. I'm thinking of the Town and Country Shopping Center and the south elevation of that complex. It's slightly improved now, but I think if the loading docks had been better planned we might have been able to get better landscaping and more of a screening between that and the residential area. So now projecting to this facility the east elevation is one of concern, and I hope that the staff remembers the problems at Town and Country.

Jean Werbie-Harris:

Yes. First of all the garbage compactor as well as their loading dock are on the south elevation. And they are putting in screening walls to begin with. Then there's going to be some employee parking. Then there's going to be berms, then there's going to be landscaping. The distance I think, what do you think it is, about maybe 300 feet, 400 feet depending on where you are.

Ted Johnson:

Depending on where you are. Probably about 200 on the east side and going up to 315.

Jean Werbie-Harris:

So as a result, yes John, we did think about that, we did talk about that, and Ted is keenly aware of the need for us to have the berms. And, in fact, I think the pine trees and such are started at six or eight feet, eight feet minimum planting. So, yes, that is a careful consideration that we have evaluated for this site.

Michael Serpe:

With reference to landscaping do you contract that out to be done on a regular basis, weekly, monthly, whatever it's going to be for maintenance?

Ted Johnson:

For maintenance yes.

Michael Serpe:

It will be done locally?

Ted Johnson:

It will be done locally. The warehouse manager it's his responsibility to retain someone, and they'll typically retain a local vendor.

Michael Serpe:

That's good to hear. Thank you.

Jim Bandura:

In that respect what about the parking lot cleanup and everything as far as that goes, the maintenance of the parking lot?

Ted Johnson:

The parking lots are swept generally either weekly or every two weeks. And then seal coated, repaired, restriped as needed. A good percentage of the warehouse manager's bonus is determined by the appearance of the warehouse. And the gentleman Brian was referring to, the founders, they will make unannounced visits to open warehouses just to see how they look. So Costco really prides itself on its landscaping and the maintenance of its facilities.

Don Hackbarth:

One last comment for me. I like the times for trucking coming in and out because that's fairly close to St. Catherine's. And when you have people in the hospital that's the last thing they want to hear is this kind of noise.

Jean Werbie-Harris:

I just wanted to mention one other thing. And this had to do with the traffic study. For this entire Prairie Ridge Development there was a TIA, a traffic impact analysis that was done in the last 1990s when the first of the whole concept of Prairie Ridge was being put together. That traffic study was then updated again with St. Catherine's hospital. It was updated with the Target development as well. So it had been updated a couple of times, and each time we re-evaluated and looked at the traffic and the traffic impact. And it's for that reason that you see 94th Avenue as a collector, a local arterial for us, and it has the turning movements and such that it does. And all the other adjacent streets have been designed as commercial streets.

And so, again, just to reiterate we are just going to be looking again one more time at that intersection of 91st and 76th Street with respect to what needs to be done there with respect to traffic control. And the DOT has looked at this as well with us just to make sure that this still falls within this planned retail commercial center that has been identified since 1996.

Don Hackbarth:

Mr. Chairman, I would approve a recommendation to the Board for the permit including the preliminary site and operational plan.

Tom Terwall:

We're taking them separate. The first doesn't go to the Village Board. We have the final say. So motion to approve is in order.

Michael Serpe:

I'll second that. But Bill had a comment.

Bill Stoebig:

I was just going to ask I have a hard time comprehending 150,000 square feet. How is this in relation to your other warehouses?

Ted Johnson:

This is the prototype we've been building for five or six years.

Bill Stoebig:

So it's a pretty standard size.

Ted Johnson:

Yeah, so if you're familiar with either Mettawa in Illinois or I guess Pewaukee.

Bill Stoebig:

I've been to the one in Illinois, yeah.

Ted Johnson:

They look different from the outside but it's the same floor plate, and they would look exactly similar inside.

John Braig:

As a point of reference, Bill, I think what was the SuperValu store in town was 50,000 square feet.

Tom Terwall:

WE HAVE A MOTION BY DON HACKBARTH AND A SECOND BY MIKE SERPE THEN TO APPROVE THE SITE AND OPERATIONAL PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Wayne Koessl:

Mr. Chairman, I move we approve the certified survey map.

Jim Bandura:

Second.

Tom Terwall:

WE HAVE A MOTION BY WAYNE KOESSL AND A SECOND BY JIM BANDURA THEN TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE CERTIFIED SURVEY MAP SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. We need a motion and a second to send a favorable recommendation to the Village Board to approve the zoning text amendment.

John Braig:

So moved.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JOHN BRAIG AND SECONDED BY JUDY JULIANA TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE ZONING TEXT AMENDMENT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Wayne Koessl:

Mr. Chairman, can I make a comment?

Tom Terwall:

Please do.

Wayne Koessl:

To the staff on moving that driveway for the Holiday Inn I think it's a great move. Thank you, and welcome to Pleasant Prairie.

Michael Serpe:

I would say that this Costco is going to be quite successful. Considering the difference in sales tax with Wisconsin and Illinois you're going to see a whole bunch come across the border so thank you. And the Governor thanks you as well.

D. Consider the request of Clay Chiappini, of Butler Design Group, agent for approval of Site and Operational Plans for the interior build-out for Niagara Bottling to occupy the 377,152 square foot building currently under construction at 11031 88th Avenue in LakeView Corporate Park.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is to consider the request of Clay Chiappini of Butler Design Group, agent, for approval of site and operational plans for the interior build-out for the Niagara Bottling to occupy the 377,152 square foot building currently under construction at 11031 88th Avenue in LakeView Corporate Park.

On May 12, 2014, the petitioner received conditional approval for the grading and associated site improvements for an approximate 377,000 square foot building shell for the Niagara Bottling Company. At the time detailed interior building plans were not provided. At this time the petitioner is requesting the site and operational plan approval for the interior build-out of the building located at 11031 88th Avenue for company. Niagara is a family owned and operated company since 1963. Niagara is the largest private label bottled water supplier in the U.S.

As discussed and presented at the May 12, 2014 Plan Commission meeting, this facility will be used to manufacture plastic bottles and caps and produce bottled water products. Niagara is a bottled water manufacturing company that runs vertically integrated, high speed water bottling lines. The process starts by receiving raw PET and HDPE resin, recycled or virgin, which is then melted down to make PET preforms and HDPE caps. The preforms are then blow molded into bottles and then immediately filled with either purified or spring water.

The purified water will be sourced from local municipal water which will be filtered, processed by reverse osmosis and disinfected with ozone prior to bottling. The spring water will be purchased from approved spring sources, hauled to the processing facility where it will be filtered and disinfected with ozone prior to bottling.

Bottles are volumetrically filled in an enclosed filler, then they are capped, date coded and labeled. Upon leaving the filler the bottles pass through a vision inspection system which rejects packaging defects, over- and under-filled bottles. The bottles then travel down a conveyor to the packer where they are placed on pallets and wrapped. The pallets are then put into storage and are ready for shipping.

The facility will manufacture various sizes and types of bottled water products. Actual production may vary but it's anticipated to produce 88,000 24-pack cases per day. The anticipated first bottle date is sometime before the end of this year.

Based upon the application materials filed with the Village, the proposed use is not classified as a high hazard type use, therefore it's not a conditional use and it's permitted in the M-2 General Manufacturing District. Pursuant to the application 88,400 square feet is classified as Factory Group F-1, and 279,693 square feet is classified as Storage Group S-1 and, finally, 6,286 square feet is classified as Business Group.

The total number of full time employees at start-up will be approximately 70 with 105 employees expected at full production capacity. There will be no part-time or seasonal employees. The anticipated maximum number of employees on site at any given time of the day is 58. This is only expected during shift change overs.

The facility is proposed to operate 24 hours a day, seven days a week. Niagara will operate four shifts to achieve full production capacity. The anticipated number of employees per shift are as follows: 1st shift 37, 2nd shift 21, 3rd shift 26 and 4th shift 21. With that they are requesting approval of the interior set of plans for Niagara known as the fit up set. The site is under construction, and the staff and the petitioner request approval subject to the comments and conditions as outlined in the staff memorandum.

Don Hackbarth:

Mr. Chairman, so moved.

Judy Juliana:

Second.

Tom Terwall:

BEFORE I TAKE A VOTE ARE THERE ANY QUESTIONS SOMEBODY HAS FROM THE COMMISSION? SEEING NONE WE HAVE A MOTION BY DON HACKBARTH AND A SECOND BY JUDY JULIANA TO APPROVE THE SITE AND OPERATIONAL PLAN FOR THE INTERIOR BUILD OUT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

E. Consider the request of Jack Williams, VP Operations of Central Storage & Warehouse Company for approval of Site and Operational Plans for a 64,000 square foot addition to their existing facility located at 7800 95th Street in LakeView Corporate Park.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is a request of Jack Williams, VP Operations of Central Storage & Warehouse Company for approval of site and operational plans for a 64,000 square foot addition to their existing facility located at 7800 95th Street in LakeView Corporate Park.

Specifically the petitioner is requesting approval of site and operational plan approval then to construct a 64,000 square foot addition for their CSW facility located at 7800 95th Street in the Corporate Park.

Central Storage & Warehouse Company is a public refrigerated warehousing company based in Madison, Wisconsin. The existing facility at 7800 95th Street is a food storage and distribution freezer warehouse of 111,712 square feet with 90,850 square feet of freezer space. This includes the 2012 addition that was approved. The building varies in height from 20 feet at the loading dock to 40 feet at the high point of the freezer. Currently CSW has 17 full time employees at this location.

CSW is proposing to add 64,000 square feet to the west side of the building consisting of 55,000 square feet of freezer space and the remainder being dock space, with 11 loading dock doors facing the south. Shipping and receiving hours for CSW will not change from their current schedule, mainly from 7:00 a.m. to 10:00 p.m. Monday through Friday with occasional weekends depending on customer demand. CSW operates on an appointment basis for pickups and deliveries. This additional space will allow us to better serve their customers and provide the opportunity to offer their services to new customers as well.

CSW anticipates hiring two to three additional full time warehouse workers and one or two full time clerical staff as a result of this expansion. CSW will operate two shifts a day overlapping midday. The maximum number of employees on site at any given time will be 22. After the expansion they will have 18 lined spaces with two handicapped spaces closest to the office entrance. Pursuant to the ordinance the minimum spaces that are required requires one space for every two employees during any 12 hour period plus the required handicapped accessible parking spaces. Therefore, a total of 11 parking spaces shall be provided on site plus the required handicapped accessible spaces. If for some reason this becomes an issue additional spaces would need to be added to the site since no on-street parking is allowed on 95th Street adjacent to their facility.

It is anticipated that approximately 95 semi-trucks per day will be serviced from the 22 available after the expansion loading dock doors. The only automobile traffic generated by the business is the arrival and departure of employees and the occasional salesperson or visitor. All of the loading and unloading equipment, forklifts and transporters, etc., utilize the enclosed loading dock area and are not visible from outside the building.

The property is zoned M-2, General Manufacturing District and the use pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code classifies it as a Storage Group S-2 Low Hazard. Therefore the use is a permitted use in the M-2 District. The M-2 District requires that the building addition be setback a minimum of 65 feet from the property line adjacent to 95th Street, which is an arterial, and a minimum of 45 feet from side and rear property lines provided the addition is not located within any easements.

The location of the parking lots, maneuvering lanes and the fire access lanes, including the curb and gutter shall not be located within any easements on the property and shall be setback a minimum 20 feet from property lines. On the north side of their site they have requested and we are permitting a zero lot line setback due to the fact that just north of their north property line is a

railroad track. And we have a modification or exception that we built into the zoning ordinance some time ago that reflects that if you are butting up to the railroad tracks that you can reduce your setback to zero. And what they intend to do along their north property line is actually create an area where trailer parking can be located adjacent to that north property line.

With that, Jack Williams is here from Central Storage & Warehouse. I'm not sure if you have anything else to add or if you'd like to make a presentation, Jack.

Jack Williams:

Thank you. Just wanted to thank you for your time. And just to clarify we're not going to be storing trailers. We're not going to put drop trailers behind the building. It's just staging areas for the trucks. When they come drivers will check in, pull around the back, back into the spot until there's a dock door available for them.

Tom Terwall:

Just for the record would you give us your name and address please?

Jack Williams:

Sure. Jack Williams. I live at 480 North Baldwin Street, Madison, Wisconsin.

Tom Terwall:

Thank you. Jean, anything you wanted to add?

Jean Werbie-Harris:

No, I don't think so. I think that staff has reviewed the plans, and there are a couple of changes, comments that need to be addressed. And Jack and his team are aware of those comments and conditions. And I think you don't have any objection to any of those?

Jack Williams:

No.

Jean Werbie-Harris:

So we're looking to get some final revised plans. They'd like to be moving dirt sooner than later.

Don Hackbarth:

If my calculation is right there would be about six trucks per hour.

Jack Williams:

Correct.

Don Hackbarth:

Something like that, six per hour. How does that stack up with all the other truck traffic out there?

Jean Werbie-Harris:

That's very minimal.

Don Hackbarth:

Is it? Okay.

Tom Terwall:

Anybody else?

John Braig:

Happy to see them expand.

Wayne Koessl:

If there's nothing else, Mr. Chairman, I'd move approval of the site and operational plan.

John Braig:

Second.

Tom Terwall:

MOVED BY WAYNE KOESSL AND SECONDED BY JOHN BRAIG TO APPROVE THE SITE AND OPERATIONAL PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Jack Williams:

Thank you.

Michael Serpe:

We like to see the expansions. Thank you.

F. Consider the request of MPF Builders LLC to amend the Access Restriction for Lot 162 in Village Green Heights Addition #1.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and audience, this is a request of MPF Builders LLC to amend the access restriction for Lot 162 in Village Green Heights Addition #1. Specifically, the petitioner is requesting to amend the access restriction for Lot 162 in the Village Green Heights Addition #1 Subdivision to allow for a home to be located on the property with direct access to Cooper Road. Pursuant to the access restriction on the final plat, the driveway for this lot shall not be located on Cooper Road.

But after review by the Village Engineers and comparing the engineering plans with the final plat, due to the slope of the property and the way it's actually set up for the public improvements the access restriction is proposed to be amended to allow for the driveway to be located within the southern 45.67 feet of the lot line as shown on the attached release of access restrictions. Therefore, the driveway will meet the 100 foot setback to the adjacent intersection. The staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the modified access restriction provided that the restriction is recorded at the Register of Deeds office prior to the issuance of the building and zoning permits for the construction of the home on this lot.

Tom Terwall:

Question, comments?

Mike Serpe:

Move approval.

John Braig:

Second.

Tom Terwall:

MOVED BY MIKE SERPE AND SECONDED BY JOHN BRAIG TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE MODIFICATION SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

G. PUBLIC HEARING AND CONSIDERATION OF A FLOODPLAIN BOUNDARY ADJUSTMENT for the proposed Park and Ride facility in Prairie Springs Park. The Floodplain Boundary Adjustment proposes to remove 130,900 cubic feet of floodplain and to create 134,630 cubic feet of floodplain to compensate for the floodplain being filled.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is a request for a floodplain boundary adjustment for the proposed park and ride facility in Prairie Springs Park. The floodplain boundary adjustment proposes to remove 130,900 cubic feet of floodplain and to create 134,630 cubic feet of floodplain to compensate for the floodplain being filled.

The Village is constructing two new crossings over an unnamed tributary 5 to the Des Plaines River and a park and ride lot south of Terwall Terrace in the Prairie Springs Park. The affected reach of stream is bounded at the downstream or the south end by Highway 165 and at the upstream north end by the Canadian Pacific Railway. The existing and proposed conditions are shown on Maps 1 and 2.

Just to step back a minute, again, to up this in perspective the red star identifies the precise location of where the park and ride lot would be located. And this is just south of Terwall Terrace and just south of the RecPlex facility. The intent is that this parking lot would be dual purpose. It would serve as a park and ride lot for Kenosha County and for the State of Wisconsin as well as an overflow and additional lot for the RecPlex during their larger events out at the Prairie Springs Park.

The regulatory floodplain elevation of 676.1 pursuant to the FEMA FIRM maps with an effective date of June 19, 2012 within the project reach is created by backwater from the Des Plaines River which is downstream of 104th Street or Highway 165. The proposed project will add 4,848 cubic yards or 130,900 cubic feet of fill in the floodplain for the proposed bridge approaches and parking lot. As required by the Village of Pleasant Prairie Floodplain Ordinance, 4,986 cubic yards or 134,630 cubic feet of compensatory storage will be created, as shown on Map 2. This is a net increase of 138 cubic yards in floodplain storage volume over the existing condition floodplain storage.

The floodplain storage that is being recommended by the Village is in accordance with the Village's Floodplain Ordinance, and it meets all of the floodplain boundary requirements. It is not inconsistent with any portion of the Village Ordinance 420-131. It's not in conflict with any applicable rules of the Wisconsin DNR or the Federal Emergency Management Agency. 420-131

of the Village Zoning Ordinance indicates that amendments to the 100-year floodplain shall comply with all Village ordinance requirements, and this project does that.

Also, on July 11, 2014, the Village received an email from Nathan Zoch with the WI DNR that stated: Under the DOT/WI DNR cooperative agreement it is not required to receive Department approval for floodplain impacts caused by this project. In the agreement procedures for addressing concerns associated with NR 116 are identified. DOT is required to notify the effected property owners that the bridge project will be increasing the floodplain elevations. Due to a change in the base flood elevation, the Village must submit a LOMR application to FEMA, that's a letter of map revision, within six months of project completion. The analysis conducted should be provided to the Village for use in the Letter of Map Revision (LOMR). Following FEMA's approval, the Village will need to adopt the new analysis into their Floodplain Zoning Ordinance. A certified copy of the approved amendment must be submitted to the Department for final administrative review and approval.

Nathan Zoch reviewed the hydraulic analysis of unnamed tributary number 5 to the Des Plaines River for the Village of Pleasant Prairie park and ride lot project submitted on April 24, 2014. The analysis submitted meets the requirements of NR 116 under the DOT/WI DNR cooperative agreement. The Village staff is recommending that the requirement to obtain a conditional letter of map revision based on fill be waived for this project; however, a letter of map revision based on fill or a LOMRF after construction is completed will be required. Permits and credits related to the wetland filling have been obtained for the work that is being done associated with that project.

This is a matter for public hearing, and our Village Engineer Mike Spence and Mike Pollocoff are here to answer any additional questions you may have regarding this request.

Tom Terwall:

This is a matter for public hearing. Is there anybody wishing to speak? Anybody wishing to speak? Hearing none I'm going to open it up. Go ahead, Mike.

Michael Serpe:

Have we ever had any flooding in that area?

Mike Pollocoff:

Little bit.

Michael Serpe:

Is this parking lot at all in danger of any flooding?

Mike Pollocoff:

No, not after we fill it. It will be just fine.

Tom Terwall:

Mike, is there timing -- I guess I'm a little surprised that this wasn't done before the bridge went in.

Mike Pollocoff:

Well, the bridge went in a little faster than I think everybody anticipated. We got that done pretty quick. And this part of the project tracked a little bit later.

Tom Terwall:

And you don't expect any difficulty from the State, huh?

Mike Pollocoff:

No more than they've already given us.

Don Hackbarth:

How many parking spots are in there?

Mike Pollocoff:

388.

Don Hackbarth:

Is that enough -- can one bridge hold it at like the morning time when people come into that lot and in the evening?

Mike Pollocoff:

You mean as far as the weight or the traffic?

Don Hackbarth:

No, traffic.

Mike Pollocoff:

We had recommended two bridges.

Don Hackbarth:

That's what I'm saying, too.

Mike Pollocoff:

And the State felt that one was adequate. We really felt to be able to circulate traffic in both ways plus having a ped bridge to separate the people from having to walk over a car bridge.

Don Hackbarth:

So why did the State reject that?

Mike Pollocoff:

Well, because they were worried that it was going to impact more wetlands and floodplain.

Tom Terwall:

Mike, what was going on Saturday?

Mike Pollocoff:

Saturday the Illinois State Swimming Championships were held in Wisconsin at the RecPlex. And they also had a major high school girls' basketball tournament that's a three day tournament that's still going on as a matter of fact.

Tom Terwall:

I've never seen so many cars out there as there were last Saturday.

Mike Pollocoff:

This weekend will be the Wisconsin State Swimming Championships. They probably had in different phases close to 3,000 people as far as swimmers. And then the basketball was about 1,500 people and then just whoever from RecPlex.

Don Hackbarth:

How have the energy savings [inaudible] been going? [Inaudible].

Mike Pollocoff:

Well, it didn't fall apart. It's there. The Village has started litigation because we don't feel it's designed to what it was represented. So we're working through that.

Michael Serpe:

I'd move approval of the floodplain boundary.

Wayne Koessl:

I'll second.

Tom Terwall:

IT'S BEEN MOVED BY MIKE SERPE AND SECONDED BY WAYNE KOESSL TO SEND A FAVORABLE RECOMMENDATION TO THE VILLAGE BOARD TO APPROVE THE FLOODPLAIN BOUNDARY ADJUSTMENT. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

7. ADJOURN.

Michael Serpe:

Also move to adjourn.

John Braig:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? We stand adjourned.

Meeting Adjourned: 7:17 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Rachel Quinn on behalf of Caterpillar College LLC for the proposed Caterpillar College Preschool to operate from the existing building located at 8411 Old Green Bay Road.

Recommendation:

Village staff recommends approval of the Conditional Use Permit including Site and Operational Plans to operate the Caterpillar College Preschool located at 8411 Old Green Bay Road subject to the comments and conditions in the Village staff Report dated August 11, 2014.

VILLAGE STAFF REPORT OF AUGUST 11, 2014

CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS for the request of Rachel Quinn on behalf of Caterpillar College LLC for the proposed Caterpillar College Preschool to operate from the existing building located at 8411 Old Green Bay Road.

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting approval for Caterpillar College Preschool to occupy the building located at 8411 Old Green Bay Road (Tax Parcel Number 91-4-122-103-0260). The Lamb of God Church had occupied the building since 2000 and prior to that the facility was constructed and used as Pleasant Prairie Child Care. The petitioner intends to purchase the property from the Lamb of God Lutheran Church. The Conditional Use Permit and Site and Operation Plan Applications and the associated attachments are provided as **Exhibit 1**.
2. The current zoning of the property is I-1, Institutional District. Child care facilities are allowed in the I-1 District with the approval of a Conditional Use Permit. In addition, there may be wetlands and 100-year floodplain in the rear of the property. If any work or expansion is proposed in the rear area east of the fenced area, detailed wetland staking and a survey showing the location of the 100-year floodplain will be required.
3. Pursuant to the application, Caterpillar College, LLC operates the Caterpillar College Preschool currently located at 2224 30th Avenue in Kenosha. The petitioner is planning to relocate the school in time for the 2014-2015 school year beginning this September. (The building is currently being used as a church, but previously it served as a childcare facility as noted above.)

The Caterpillar College is known for its fun and engaging introduction to learning and individualized emphasis on academics. The school just celebrated its tenth year of operation in Kenosha and the petitioner has been teaching early childhood education for over two decades.

The Caterpillar College Preschool is an academically focused preschool program designed to provide students with the skills and self-confidence needed to adapt to the next step in their educational development. The program is for children who are at least three (3) years old. In addition, the Caterpillar College offers "Mommy-and-Me" classes for two (2) year olds and their parents. During the summer, the Caterpillar College offers day camp for children ages three to eleven years old. Age appropriate academics are included each morning as part of the program.

Parents have the option to sign up for at least two (2) days of preschool, morning and/or afternoon sessions, which can add some variability to daily enrollment. The number of total students attending the school has typically been above 70. During the summer typically over 50 campers participate in the program.

During the school year (September through May) Caterpillar College offers morning and afternoon preschool classes for three and four year olds on a schedule similar to the Kenosha Unified School District.

The Caterpillar College offers additional part-time programs and activities outside of regular school days including, but not limited to, Mommy and Me classes, summer camp, Parents' Night Out (occasional evening child care services), birthday parties, and other group activities.

4. The 7,660 square feet building includes four (4) to six (6) classrooms, depending on the configuration, a large multipurpose room, boys and girls bathrooms, wheelchair accessible bathroom, office, warming kitchen and other customary storage, mechanical and janitorial rooms. In addition, there is a large fenced in area behind the building for outdoor play.
5. The Caterpillar College offers wrap-around care with hours and staffing based on demand. During the school year the facility will not open prior to 6:00 a.m. or close later than 6:00 p.m.
6. Summer sessions are held from the first or second week of June through mid- to late-August, depending on demand. Summer hours are from 7:30 a.m. to 5:30 p.m.
7. The Caterpillar College is working to open for classes at the new location on September 2, 2014. Currently the Caterpillar College employs a part-time staff of seven (7) which is expected to grow by two (2) or three (3) over the short term. It is anticipated that the maximum number of staff on site at any one time is seven (7) or more, depending on enrollment.
8. Pursuant to the application, the number of persons gathered for normal school operations is estimated at 100. This number will fluctuate depending on enrollment; however, the total will not exceed state mandated guidelines for the space. The multipurpose room will be used for large gatherings including monthly programs and holiday events. Family oriented special events (holiday parties, etc.) can attract 200+.
9. Pursuant to the application there are 52 parking space on site including 4 handicapped accessible parking space.
10. Pursuant to the Village Zoning Ordinance two (2) spaces, plus one (1) space for every employee on the maximum shift; and a paved, unobstructed pickup space with adequate stacking area (as determined by the Plan Commission) shall be provided in addition to standard driveway and parking requirements, or one (1) space for every six (6) children; a safe pedestrian walkway system (as approved by the Plan Commission) through the parking area to the building entrance, with a safety zone a minimum of 15 feet in width between parking spaces and the front of the building entrance, shall be provided in addition to standard driveway and parking requirements.
11. The Village staff believes that the off-street parking and vehicular circulation in the parking lot is adequate for this use.
12. The average maximum potential number of automobile trips to and from the site is anticipated to be an average of 70 trips with a maximum 100 trips per day
13. Notices were sent to adjacent property owners via regular mail on July 24, 2014 and notices were published in the Kenosha News on July 28 and August 4, 2014.
14. The petitioner was emailed a copy of this memo on August 8, 2014.
15. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinance and meets the minimum standards for granting of a Conditional Use Permit.

Furthermore, the Plan Commission shall not approve a Site and Operational Plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements

relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise streets and highways and fire protection.

Village Staff Conclusions and Recommendation: (to be read out loud)

The Village staff has determined that based upon the foregoing information presented in the application that the project meets the following standards for granting a Conditional Use Permit in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire;
- does not create storm water flooding or drainage, create obnoxious odors or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the I-1, Institutional District in which it is located or the adjoining Zoning Districts and neighborhood; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, noise, streets and highways and fire protection.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for granting of a conditional use as specified above--then approval of the Conditional Use Permit shall be approved subject to the following conditions:

1. All previously approved Conditional Use Permits associated with this property are no longer applicable. The owner may request that the Village release any such documents by providing the Village with recorded copies of the Conditional Use Permits for the Village to prepare the required release documents. The owner shall pay the application and recording fees associated with each release.
2. Compliance with the attached memorandum from the Village Fire & Rescue Department dated July 18, 2014. Any specific comments regarding these conditions shall be discussed directly with the Fire & Rescue Department.
3. If a sanitary sampling manhole is not installed on the site, it shall be installed prior to occupancy. Contact John Steinbrink Jr., Public Works Department to determine if there is one on-site and if not where it should be located. Permits are required prior to the installation.
4. Permits shall be obtained for the change in tenant. Prior to issuance of the required permits proof of ownership shall be provided to the Village.
5. The existing Primary Monument Sign shall be modified with the new tenant name-Caterpillar College. The required sign application, supporting materials and fees shall be submitted to the Village for review and approval for any sign modifications
The Primary Monument Sign shall be modified prior to the Village granting occupancy for the building.

6. Prior to occupancy all weeds shall be removed, the grass shall be cut and dead landscaping removed and replaced. A landscaping plan shall be submitted and approved by the Zoning Administrators.
7. There shall be no outside activities/loud speakers or music at the facility (before 7:00 a.m. or after 10:00 p.m.) which might create noise conflicts with neighbors.
8. Hours for deliveries, or any other activities outside the principal building that might cause a disturbance to neighboring residential areas (e.g., outside loading or unloading, the arrival of deliveries, the idling of delivery trucks, the beeping of backing vehicles, and garbage pickup), except for snow removal is allowed only from 6:00 a.m. to 10:00 p.m. as required by the I-1 District.
9. The building/site shall not be used/occupied until a final occupancy permit has been issued by the Village.
10. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
11. No changes to the exterior site or building conditions shall be made without the Village's approval. Minor internal modifications/alterations shall be approved at the discretion of the Village Zoning Administrator; however, any addition, exterior alteration, or major interior alteration shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
12. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc. on the site.
13. No off-site directional or commercial signage is allowed.
14. Trees over 6" shall not be removed from the site. Only dead or dying trees shall be removed from the property with prior written approval of the Village.
15. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
16. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
17. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes (including pumper pad space) or on landscaped areas.
18. The development shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/ unlicensed vehicles that are parked overnight will be issued citations.
19. No trucks, trailers or cars shall be parked in a manner that would constitute advertising of a business on the properties.
20. There shall be no outdoor storage of materials or equipment on this site, unless specifically approved by the Village.
21. The use of semi-trailers, storage units, storage bins, compactors, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited.

22. All parking lot striping and each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
23. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
24. This Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land.
25. This Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
26. Any future expansion of the facility, including parking, will require the submittal of Site and Operational Plans and a Conditional Use Permit, with the appropriate review fees for Village staff and Plan Commission review.
27. Upon the Caterpillar College LLC obtaining ownership of the property, the property owner shall sign the Conditional Use Grant Document. **The owner shall provide the Village with the name and title of the person(s) authorized to sign said document from Caterpillar College LLC.** Said document shall be executed prior to occupancy. The owner is responsible to pay the required recording fees for the Village to record the Conditional Use Permit at the Kenosha County Register of Deeds Office.



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Caterpillar College, 8411 Old
Green Bay Road
DATE: 18 July 2014

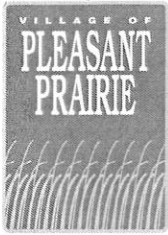
The Fire and Rescue Department will be responsible for providing fire prevention inspections of these facilities, twice annually. The concerns of the Fire and Rescue Department are as follows:

This is an existing building with no proposed exterior or interior modifications.

Upon review of the plans submitted, we have the following concerns:

- All local ordinances must be complied with, in particular 180-16. The current printed edition of any applicable National Fire Protection Association (NFPA) codes must also be complied with.
- The fire department connection pit must be found and uncovered. The lid must be made able to remove and access the pit. The piping and check/ball drip valve must be inspected for proper function.
- The 5 year fire sprinkler inspection is overdue and must be done. A pressure gauge on the fire sprinkler is also due to be replaced.
- All emergency lights must operate for the required 90 minutes, this has been a problem in past fire prevention inspections.
- All required permits must be obtained.
- Occupancy: All fire and life safety requirements must be in place prior to the building being occupied.





Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Site & OP's Review for Caterpillar College
Date: July 25, 2014

Items 1-10 are general information

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance. We have 10 business days to review and issue permits please plan accordingly.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
7. Fire alarm systems require two permits one from the Fire Department and one from the Building Inspection Department.
8. Any exterior building fire protection loop will require inspection by both the Fire Department and Building Inspection Department.
9. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant.
10. Any tradesmen requiring state license will be "carded" on the jobsite for compliance.

11. This project will require a Certified Municipality Plan Review for the building (HVAC and electric if applicable).
12. Any plumbing alteration will require State review.
13. Please provide required amount of plumbing fixtures for child use.
14. Security at doors are understood at this facility, however please make sure they are fail safe in the event of a fire emergency.



Exhibit 1
RECEIVED
 JUL 10 2014
 Village of Pleasant Prairie

**VILLAGE OF PLEASANT PRAIRIE
 SITE AND OPERATIONAL PLAN
 AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
 Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.
 To construct a new or addition to principal or accessory structure.
 Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	7/10 2014
Preliminary Determination of Completeness on:	7/10 2014
Revised Plans Submitted:	20
Public Hearing Required: Hearing Date:	8/11, 2014
Published on:	7/28/14 and 8/14, 2014
Notices sent on:	7/24, 2014
Approved by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20
Denied by <input type="checkbox"/> Plan Commission on	20
<input type="checkbox"/> Zoning Administrator on	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: CATERPILLAR COLLEGE

SITE ADDRESS: 8411 OLD GREEN BAY RD.

BRIEF PROJECT DESCRIPTION: PRE SCHOOL / DAY CARE

PROPOSED NUMBER OF FULL TIME EMPLOYEES: - 0 -

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 7

SITE SIZE: 191664 sq. ft. 4.4 acres

PROPOSED BUILDING SIZE: 7660 sq.ft. HEIGHT: VARIABLE ft. MOSTLY 9.0'

PROPOSED ADDITION SIZE: - 0 - sq.ft. HEIGHT: - 0 - ft.

LEGAL DESCRIPTION: 628-D PART OF SW 1/4 SEC 10 T1 R22 COM AT WHICH IS 331 FT N OF S LINE AND 985.1 FT W OF E LN OF SW 1/4 N 237.1 FT W 887.53 FT TO CT OF MILW RD SW'LY ALG CT RD 243.57 FT E 950.37 FT TO BEG EXC FOR HWY AS IN V 1498 P 157 1993 4.44 AC
 TAX PARCEL NUMBER(S): 91-4-122-103-0260

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: IP

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) N/A sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 300.

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: UNKNOWN
 - Date of each approved amendment: UNKNOWN

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building. CHURCH - FORMERLY A DAYCARE.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.
3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.
2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: Mark Bernhardt
(Please Print)

Signature: Mark Bernhardt

Address: 8411 Old Green Bay Rd

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 262 697-1701

Fax: _____

E-mail: imarkbernhardt@gmail.com

Date 7/9/2014

APPLICANT:

Name: RACHEL QUINN
(Please Print)

Signature: Rachel Quinn

Address: 8840 - 106th AV

PLEASANT PRAIRIE, WI. 53158
(City) (State) (Zip)

Phone: (262) 705-5754

Fax: _____

E-mail: CATERPILLARCOLLEGE@GMAIL.COM

Date: July 10th 2014

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: SAME AS APPLICANT
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date _____

USER OR OCCUPANT OF SITE:

Name: SAME AS APPLICANT
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

Operational Plan

Narrative: Proposed Use of 8411 Old Green Bay Road, Pleasant Prairie, Wisconsin 53158

a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Caterpillar College, LLC operates the Caterpillar College Preschool currently located at 2224 30th Avenue in Kenosha, Wisconsin. The owner, Rachel Israel-Quinn, is planning to relocate the school to the subject location in time for the 2014 – 2015 school year beginning this September. The building is currently being used as a church, but previously it served as a childcare facility.

The Caterpillar College is known for its fun and engaging introduction to learning and individualized emphasis on academics. The school just celebrated its tenth year of operation in Kenosha and Mrs. Quinn has been teaching early childhood education for over two decades.

The Caterpillar College Preschool is an academically focused preschool program designed to provide students with the skills and self-confidence needed to adapt to the next step in their educational development. The program is for children who are at least 3 years old. In addition, the Caterpillar College offers "Mommy-and-Me" classes for two-year-olds and their parents. During the summer the Caterpillar College offers day camp for children ages three to eleven years old. Age appropriate academics are included each morning as part of the program.

Parents have the option to sign up for at least two days of preschool, morning and/or afternoon sessions, which can add some variability to daily enrollment. The number of total students attending the school has typically been above seventy. During the summer typically over fifty campers participate in the program.

During the school year (September through May) Caterpillar College offers morning and afternoon preschool classes for three and four year olds on a schedule similar to the Kenosha Unified School District.

The Caterpillar College offers additional part-time programs and activities outside of regular school days including, but not limited to, Mommy and Me classes, summer camp, Parents' Night Out (occasional

evening child care services), birthday parties, and other group activities.

b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The property features four to six classrooms, depending on the configuration, a large multipurpose room, boys and girls bathrooms, wheelchair accessible bathroom, office, warming kitchen and other customary storage, mechanical and janitorial rooms.

c) Gross floor area of the existing building and/or proposed addition.

The gross floor area is approximately 7,660 square feet. In addition, there is a large fenced in area behind the building for outdoor play.

d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

The Caterpillar College offers wrap-around care with hours and staffing based on demand. During the school year the facility will not open prior to 6:00 AM or close later than 6:00 PM.

Summer sessions are held from the first or second week of June through mid- to late-August, depending on demand. Summer hours are from 7:30 AM to 5:30 PM.

e) Anticipated startup and total number of full- and part-time employees.

The Caterpillar College is working to open for classes at the new location on September 2, 2014. Currently the Caterpillar College employs a part-time staff of seven, which is expected to grow by two or three over the short term.

f) Anticipated number of shifts and the anticipated number of employees per shift.

NA

g) Anticipated maximum number of employees on site at any time of the day.

Seven or more, depending on enrollment.

h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

The number of persons gathered for normal school operations is estimated at 100. This number will fluctuate depending on enrollment, not to exceed state mandated guidelines for the space. The multipurpose room will be used for large gatherings including monthly programs and holiday events. Family oriented special events (holiday parties, etc.) can attract 200+.

i) Number of parking spaces required per this chapter and the method used to calculate such number.

NA

j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).

Conventional spaces: 48

Handicapped accessible spaces: 4

k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

Average 70; Maximum 100

l) Anticipated daily average and maximum potential number of truck trips to and from the site.

NA

m) Types and quantities of goods and materials to be made, used or stored on site.

School supplies for student body.

n) Types of equipment or machinery to be used on site.

Computers, SmartBoard, copier, laminator, die cut machine.

o) Types and quantities of solid or liquid waste materials which will require disposal.

General trash, one small dumpster per week.

p) Method of handling, storing and disposing of solid or liquid waste materials.

Traditional dumpster with municipal pick-up.

q) Methods of providing site and building security other than the Village Police Department.

Building is locked from the outside. Front door secured with remote electronic/magnetic audio/video locking system. Internal video system with continuous recording.

r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Complying with all permits and regulations. Seek appropriate approvals for future improvements. Follow guidelines of the Village of Pleasant Prairie and the Wisconsin Department of Children and Families.

s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

NA

t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained.

The Caterpillar College maintains a group childcare license from the Wisconsin Department of Children and Families, which covers the preschool and wrap around care programs. A new license is required when centers move to a new location. A full inspection of the facility must be completed before the center is permitted to open.

#1



#1: Front of Building
Front Faces West
Camera Facing East
Taken 7/8/14
At 12:15pm

#2: Back of Building
Back Faces East
Camera Facing West
Taken 7/8/14
At 12:15pm



#2

#3: Angle View of South West Side of Building
Camera Facing North East
Taken 7/8/14
At 12:20pm



#4: Angle View of North West Side of Building
Camera Facing South East
Taken 7/8/14
At 12:20pm





#5 Angle View of
South East Side
of Building
Camera Facing
North West
Taken 7/8/14
At 12:25pm

#6: Angle View of
North East Side
of Building
Camera Facing
South West
Taken 7/8/14
At 12:25pm





#7 Parking Lot
Camera Facing
South East
Taken 7/8/14
At 12:30pm

#8: Signage
Camera Facing
South West
Taken 7/8/14
At 12:30pm

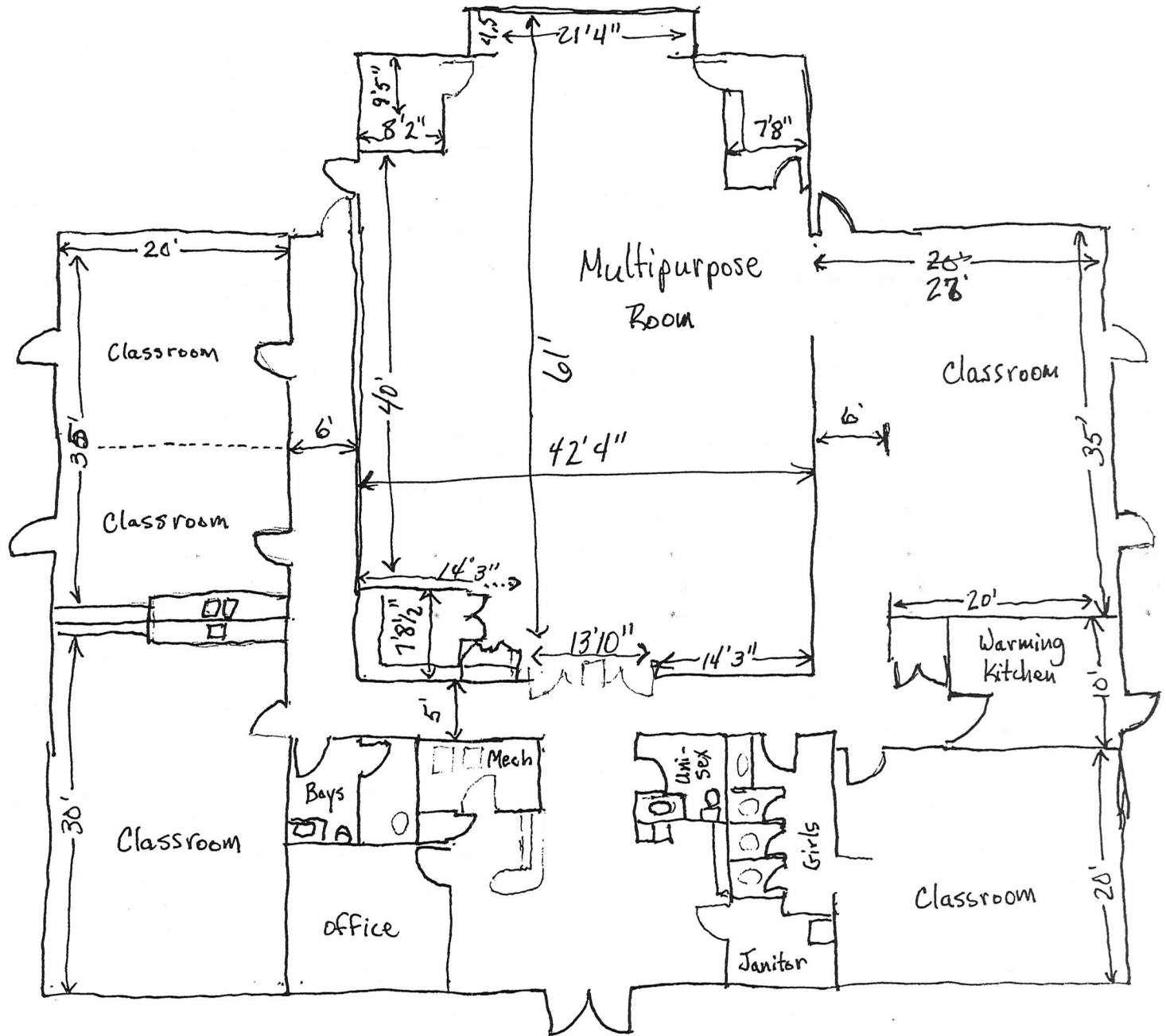


Caterpillar College

8411 Old Green Bay Road, Pleasant Prairie, WI

Room Measurements are approximate

Inside Diagram





Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: _____
Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

**To be submitted to the
Kenosha Water Utility**

General Information

1. Facility Name: CATERPILLAR COLLEGE
2. Mailing Address: 8411 - OLD GREEN BAY
3. City, State, Zip Code: PLEASANT PRAIRIE, WI 53158
4. Site Address: 8411 - OLD GREEN BAY
5. Standard Industrial Classification Code (SIC): N/A - DAYCARE / PRESCHOOL
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative
 Name: RACHEL QUINN
 Title: DIRECTOR
 Phone #: (262) 705-5754

Company Contact
 Name: RACHEL QUINN
 Title: DIRECTOR
 Phone #: (262) 705-5754

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

None

Operational Characteristics

1. Existing Number of Employees: Full Time 0 Part Time 7

2. Operational Schedule: Days/Wk 5 Hours/Day 3/7 # Shifts 1

3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities):

PRE SCHOOL / DAY CARE.

4. List principal raw materials used: NONE

5. List products produced and the average rate of production: NONE

6. List types of wastes created during production and any by-products produced:

NONE

7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 39,000 gallons.

Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie _____

Meter number or address assigned to water meter(s). 8411 - OLD GREEN BAY RD.

8. Type of discharges: Continuous Batch _____

If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____

9. Describe the uses of water at this facility: DRINKING / SANITARY

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
<u>NONE</u>	<u>N/A</u>
_____	_____
_____	_____

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

N/A

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? NO
4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day fir each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	<u>Consumed</u>	<u>Discharges</u>	
Sanitary Usage	<u>300</u>	<u>260</u>	<u>NONE</u>
Process Wastewater Usage		<u>N/A</u>	<u>NONE</u>
Cooling Water Usage		<u>N/A</u>	<u>NONE</u>
Other Usage		<u>N/A</u>	<u>NONE</u>
Total Volume			

5. Describe all locations where wastewaters enter the collection system N/A

6. Is there a sampling manhole on site? No X Yes _____

If yes, describe the locations: _____

7. Are sanitary and process wastewaters separated? No N/A Yes _____

8. Is boiler blowdown water discharged to the sanitary sewer? No N/A Yes _____

9. Does your facility haul any process wastewater? No N/A Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No N/A Yes _____

If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No N/A Yes _____

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?

No _____ Yes _____ If yes, describe procedure: N/A

5. Is any form of waste water pretreatment practiced at this facility? No N/A Yes _____
 If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.
N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.
N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Rachel Quinn

Print Name: Authorized Representative

Rachel Quinn

Signature: Authorized Representative

Director

Title

July 8, 2014

Date

**Appendix
Toxic Pollutants Listed in 40CFR 307(a)**

Known Absent	Suspected Present	Known Present	Pollutant
	N/A		1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
	N/A		34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

- B. Consider the request of Randy Copenharve, agent for Uline for approval of **Site and Operational Plan** for the construction of a 1.1 million square foot warehouse Distribution building on the property located at 12575 Uline Drive.

Recommendation: Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of August 11, 2014.

VILLAGE STAFF REPORT OF MAY 12, 2014

Consider the request of Randy Copenharve, agent for Uline for approval of **Site and Operational Plan** for the construction of a 1.1 million square foot warehouse Distribution building on the property located at 12575 Uline Drive.

The petitioner is requesting approval of Site and Operational Plans for the construction of a 1.1 million square foot warehouse warehouse/distribution building on the property located as 12575 Uline Drive in the Village. This facility will be the second warehouse on the property and will be located west of the existing corporate office building and warehouse, which is south of 104th Street (CTH Q) and east of CTH U.

The proposed 1.1 million square foot Distribution Center (referred to as W-2) is being planned to support ULINE's ongoing business growth. The facility will be utilized as a distribution center for bulk storage / material handling equipment including shipping boxes, packing material and mailing supplies consistent with the existing warehouse/distribution center. The building will include approximately 32,000 square feet of office space.

On May 12, 2014 the Plan Commission conditionally approved Preliminary Site and Operational Plans for the mass grading and installation of storm water management facilities required for the construction of a warehouse/distribution building on the property located as 12575 Uline Drive in the Village.

Pursuant to the application, the W-2 facility will operate 24 hours a day, 7 days a week with 350 full time employees at start up. Future employee staff growth is anticipated at this facility. There will be 3 warehouse shifts per every 24 hour period. For W-2, the following employee counts are anticipated:

- 100 office employees are anticipated at start up.
- 250 warehouse employees are anticipated at start up.
 - 125 warehouse employees will be on the first shift.
 - The remainder of warehouse employees will be evenly distributed between the second and third shifts.

The maximum number of employees expected on site is 300. This includes 200 warehouse employees during a shift change and 100 office employees.

The required parking spaces based on the Village Zoning Ordinance includes:

- Warehouse/distribution centers: 1 space for every 2 employees during any 12-hour period 200 employees/ 2 = 100 parking spaces
- Office: 1 space per 250 square feet: 32,000 sf of Office / 250 = 128 parking spaces
- Total required parking spaces= 228 plus the required accessible parking spaces pursuant to the State code.

This building will operate independently so parking will be provided independently to ensure adequate parking. **Total Provided Parking Spaces= 415 (includes 12 accessible spaces).**

Anticipated daily average and maximum potential number of automobile trips to and from the site are estimated at 300 average and 350 maximum.

Anticipated daily average and maximum potential number of truck trips to and from the site are estimated as: 100/day inbound and 100 /day outbound.

The property are where the building and improvements are proposed are zoned M-1 (PUD), Limited Manufacturing District with a Planned Unit Development Overlay. There are

wetlands, woodlands, shoreland areas and 100-year floodplain located on the property; however these environmental areas are not located within the proposed development area for this project and will not be disturbed. The proposed development is consistent with the Conceptual Plan as conditionally approved by the Village Board of Trustees on October 18, 2010 for the Uline Corporate Campus.

Village staff recommends approval of the Site and Operational subject to the above comments and the following conditions.

1. This approval is valid for six (6) months (until February 11, 2014). Prior to the expiration of this approval, the required permit shall be submitted to the Village.
2. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the Design Engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site and Operational Plans. Three (3) revised plan sets along with notations on this memorandum explaining how each of the items below have been addressed shall be submitted for final staff review:**
 - a. The required Industrial Waste Survey shall be submitted for this project.
 - b. The developable portion of the property, located within the Village of Pleasant Prairie is zoned M-1, Limited Manufacturing District with a Planned Unit Development (PUD) Overlay District. Sheet C-1 shall include the zoning designation for the entire property that is in the Village including: M-1, Limited Manufacturing District, C-1, Lowland Resource Conservancy District, C-2, Upland Resource Conservancy District, FPO, Floodplain Overlay District and PUD, Planned Unit Development Overlay District.
 - c. On sheet C-1 add the number of building doc positions and off-building trailer positions.
 - d. On sheet C-1 include the following for the entire property:
 - i. Provide the total building impervious area for the entire property
 - ii. Provide the total parking/pavement impervious area for the entire property
 - iii. Provide the total impervious surface area for the entire property
 - iv. Provide total square footage and % green space for the entire property.
 - v. The M-2 District requires that at minimum of 25% of the site be open space.
 - e. The project will require a pre-construction meeting. The following note shall be provided on the sheet C-1. "Prior to construction, a preconstruction conference must be held at the Village offices. The preconstruction conference shall be scheduled and moderated by the designing Engineer of Record". Coordinate the meeting time and date with the Community Development Director at 262-925-6717.

- f. The plans shall be revised to address the **attached** comments from the Village Engineering Department memo dated July 29, 2014. Revise the plans as noted.
 - g. Compliance with the **attached** memo from the Village Building Inspection Department dated July 30, 2014. Revise to the plans as noted.
 - h. An updated/revised traffic study shall be finalized which addresses the impact of increased traffic and highway/intersection improvements as required by Kenosha County. See **attached** email from Gary Sipsma Direct of Division of Highways and Highway Commissioner for Kenosha County dated August 8, 2014 for additional comments.
 - i. Compliance with the attached memorandum from the Village Fire & Rescue Department dated August 3, 2014. **Revise the plans as required. Note that Condition #2 also requires that a letter be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within the August 3, 2014 Fire & Rescue memorandum. A copy of this letter shall also be provided to the Community Development Department.**
3. For security reasons, the Village recommends surrounding the construction site with a six (6) foot high chain link fence. A fence permit is required for the temporary fencing.
 4. Written approval of the Site and Operational Plans from Prairiewood Commercial Association shall be submitted to the Village prior to obtaining building permits. Any modifications required by the Association shall be incorporated into the plans.
 5. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required permits an electronic pdf of all plan sheets shall be provided to the Village.**
 6. All required permit application and required State approved plans shall be submitted to the Village prior to work commencing on the site.
 7. Impact fees shall be paid prior to issuance of the building permit for the addition. (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
 8. **Prior to work commencing on the site, all required permits shall be issued by the Village, all required erosion control measures are in place on the site and the pre-construction meeting shall be held.**
 9. **After the installation of the footing and foundations and prior to the setting the walls an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to verify that the building meets all of the required setbacks.**
 10. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
 11. There shall be no construction parking permitted on CTH U or CTH Q. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.

12. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in Village rights-of-way. All construction related signage shall be approved and permitted by the Village. Show the location on the Erosion Control Plans.
13. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
14. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
15. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
16. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
17. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
18. There shall be no long-term semi-truck/trailer or box truck storage parking permitted on the site that is not used in the operations of the facility.
19. There shall be no outdoor storage or display of materials, goods or equipment on this site, unless as approved by the Village.
20. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for long term storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
21. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
22. Each handicapped accessible parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
23. All landscaping shall be installed prior to occupancy. A written letter verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
24. **Prior to written occupancy of the building and associated site improvements three (3) copies of an as-built plan stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum**

setbacks and that all pavement markings were marked per the approve site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.

25. **Prior to written occupancy an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation system installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.**



MEMORADUM

Office of the Village Engineer
Assistant Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Assistant Village Engineer

CC: Michael Spence, P.E., Village Engineer
Jean Werbie-Harris, Community Development Director

SUBJ: Uline Corporate Campus- W2

DATE: July 29, 2014

Dear Peggy,

The Engineering Department has reviewed the submitted plans for the above reference project. Specifically, the following was reviewed.

- Plans entitled "Onsite Civil Engineering Infrastructure Plans W2 Facility at Uline Corporate Campus", prepared by Pinnacle Engineering Group, received by the Village July 11, 2014.

Based on our review, we have the following comments listed below.

Site Plan / General

1. Provide geometric details for the new CTH "U" entrance drive.
2. Approval from Kenosha County is required for the proposed CTU "U" driveway and all work with the CTH "U" right-of-way. A copy of their approval shall be provided to the Village. Also, the plan shall label the entrance taper lengths and clearly show the existing CTH "U" pavement edges.
3. Approval from Kenosha County is required for the additional drive off of CTH "Q". A copy of their approval shall be provided to the Village.
4. The need and type of intersection improvements for CTH "U" / CTH "Q" shall be discussed with Kenosha County. Further information or a traffic impact analysis may need to be completed by Uline based on the County's needs and requirements. Also, is the pond expansion area and new driveway at CTH "Q" compatible with planned intersection improvements?
5. Provide details for the new CTH "Q" entrance drive including pavement marking modifications etc.
6. Provide on-site and roadway curb details.

7. The Village of Bristol will need to approve work within their jurisdiction. A copy of their written approval shall be provided.

Storm Water / Grading / Erosion Control

8. The design engineer shall review the Storm Water Management Plan and ensure that the modeled data matches the design plans. The following were noted discrepancies found during review of the plan.
 - a. The outlet structure for pond 5 is shown as a 12-inch HDPE pipe (invert 741.0) with an emergency spill way at elevation 745.0. The storm water management plan models the pond with an 8-inch RCP culvert with a 4-inch orifice (invert 741.1) with a 5'x 18' emergency spill way at elevation 746.0. The SWMP text on Page 5 states the outlet pipe as a 12-inch.
 - b. The 100-year high water is modeled as 745.93 for Pond 5 with an emergency overflow weir at elevation 746.0. The plan cross section of the pond notes the 100-year high water as 744.99 with the emergency spill way at 745.00.
 - c. Pond 1: Sheet 15 notes the NWL as 729.0, sheet C-25 notes the NWL=728, SWMP shows calculating active storage volume at 727.25.
 - d. Pond 1: HWL is noted as 734.58 on sheet C-25, 733.00 on sheet C-15 and 733.21 in the SWMP.
 - e. Pond 1A: HWL is noted as 734.5 on the plans and 733.65 on the SWMP.
 - f. Check the storm water management text under Post-Development Conditions. It is noted that "Drainage area A5 reflects the onsite area and drainage area OS-2 reflects the offsite areas which will directly contribute to pond 5". Does OS-2 contribute to pond 5 or Pond 1A?
9. The routing diagram in the SWMP does not show P5 connecting to Pond 1. Verify that the Pond 5 discharge is modeled as contributing to Pond 1.
10. Provide a pond cross-section for Pond 1A in the plans.
11. Show / note the emergency spill-way locations for each pond on the grading plan.
12. Clarify the pavement grades on the west side of the building between storm inlets. Is 743.5 the mid-high point between catch basins?
13. Provide a detail of the storm sewer end section treatments. (i.e. rip-rap, grates etc.)
14. Provide a detail of the path bridge.
15. Show and label the existing culverts in which CB 80 and inlet 71 are connecting into. (Sheet C-15)

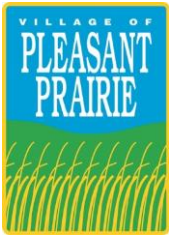
16. Sizing calculations and the associated drainage area map shall be provided for the proposed storm sewers conveying drainage from CTH “U” to Pond 1A.
17. The location of silt fence is unclear or not shown on the plan. Change the symbology and/or clearly show the locations.
18. The erosion control plan shall show other necessary temporary erosion control measures for the site (i.e. ditch checks, diversion swales, inlet protection etc.). Such measures are currently missing.
19. Is there an existing roadway cross culvert located along CTH “U” just south of CTH “Q”? Clarify if drainage at this location is being diverted to the culvert along CTH “Q” located just west of the new entrance road. Has downstream impacts been identified? If being diverted, is the acceptable to the County and Village of Bristol? Clarify and provide additional information.
20. Show the entire drive connection between the parking area(s) on sheet C-11.
21. Note on the plans that all storm water infrastructure is private and shall be owned and maintained by the property owner. A Storm Water Access and Maintenance Easement dedicated to the Village shall be provided over the private storm water conveyance system from CTH “U” and all retention ponds.
22. Show the existing contours and grading tie-ins near and around the truck entrance and pond 2.

Sanitary and Water

23. The design engineer shall check all the rim grades on the sanitary sewer manholes as they appear incorrect.
24. The plans show a 12-inch sanitary building connection at TEE 6.1 connecting into the 8-inch sanitary main. Check and clarify the 12-inch size and sewer design. Also, we recommend a manhole be used at the connection.
25. Clarify the size and design of the 12-inch sanitary stub (12.0) coming from the 8-inch sewer main.
26. A sanitary sampling manhole, meeting Village specifications, shall be provided. The Village’s standard sampling manhole detail shall be used in the plan set. In addition, the sampling manhole shall meet the following:
 - a. No horizontal alignment changes are allowed at the sampling manhole.
 - b. The sampling manhole shall be located to allow easy access for Village utility crews and shall be within pavement areas but not in parking stalls.

27. Sanitary manholes shall meet Village standards. The Village's standard sanitary manhole detail shall be used in the plans.
28. A temporary plug shall be placed at the downstream sanitary manhole where it connects to the municipal system to prevent sediment / debris from entering the downstream sewer. Village approval shall be obtained prior to removing the plug and the removal witnessed by the Village. Place an appropriate note on the plans.
29. Sewer and water specifications shall be provided on the plan.
30. The Village is currently looking into municipal water system modifications to augment water flow availability to the Uline warehouse facilities. Further coordination will be needed for the municipal and private site water system as plans progress.
31. Approval from the Fire Department is required for fire hydrant locations. Also, fire hydrants shall meet Village Standards. The Village typical fire hydrant detail shall be used in the plan.
32. Provide water main thrust blocking detail(s).

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date.



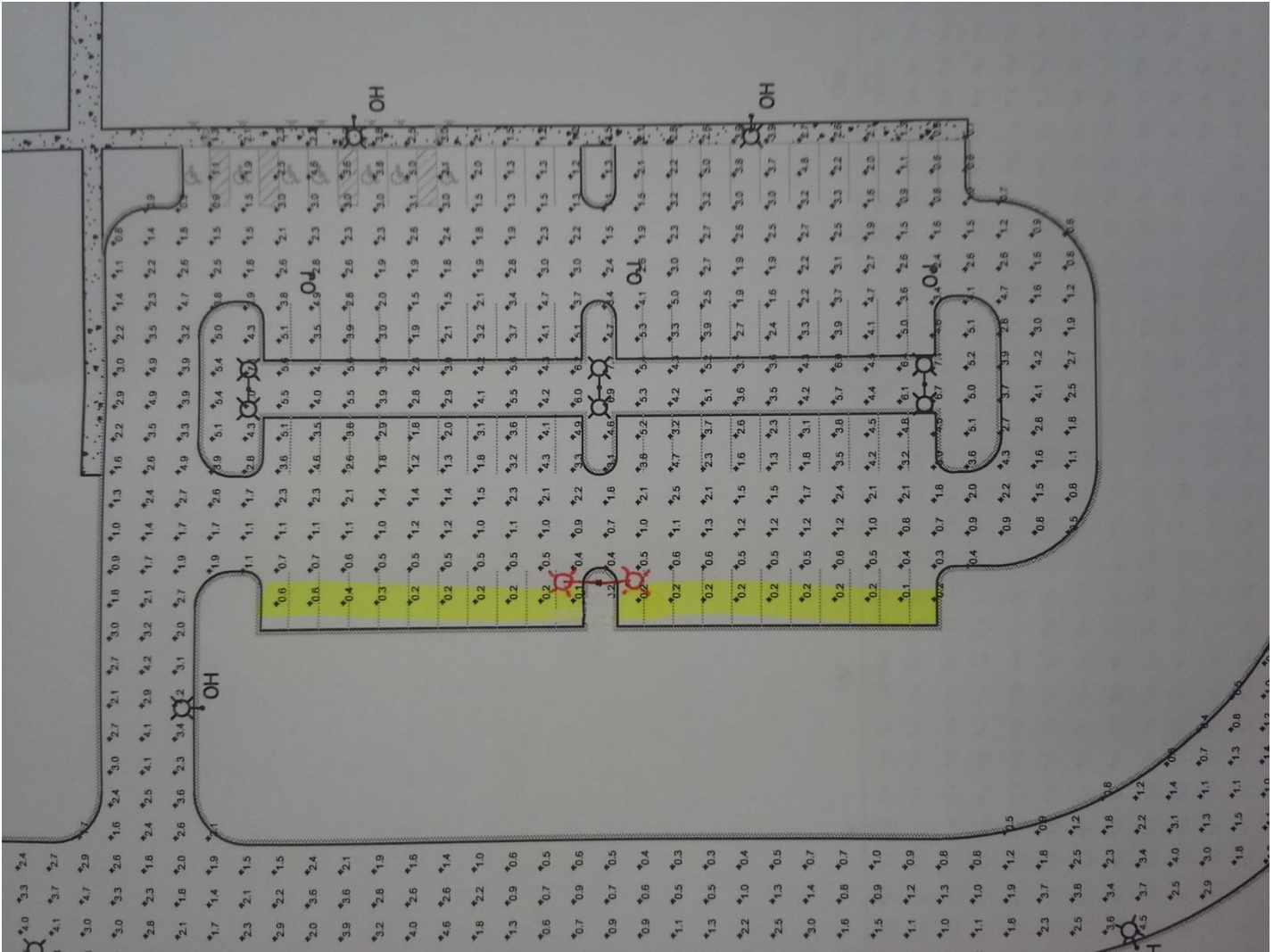
Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Uline Site & Op's review
Date: July 30, 2014

Items 1-10 are general information

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance. We have 10 business days to review and issue permits please plan accordingly.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
7. Fire alarm systems require two permits one from the Fire Department and one from the Building Inspection Department.
8. Any exterior building fire protection loop will require inspection by both the Fire Department and Building Inspection Department.
9. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant.
10. Any tradesmen requiring state license will be "carded" on the jobsite for compliance.

11. Page E2a shows low light levels at north parking spaces of north parking lot. We recommend adding another two headed light pole in the peninsula with heads facing east and west. Please see attachment.





Office of the
Chief of Fire & Rescue
Doug McElmury

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Uline Warehouse #2, 12575 Uline Drive
DATE: 3 August 2014

This is the review of the Site and Operational Plan for Uline Warehouse #2, 12575 Uline Drive

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.



Upon review of the plans submitted, we have the following concerns:

- AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and customer use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire pump room. Remote annunciator panel location(s) will also need to be determined during the pre-construction meeting.
- Knox Box key box locations will need to be determined. There are six proposed locations on drawing G101 dated 7/11/14. These locations do not provide adequate access. The Fire and Rescue Department requires a Knox Box located at each access door near a fire sprinkler riser and one at the fire pump room. This may require several more Knox Boxes in order to provide proper fire department access.
- Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. There is no pumper pad location on the current drawing. Location and access will need to be determined and submitted on the underground plans.
- Fire hydrants are indicated on the drawing. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- The two story office area has an elevator. The elevator must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
- Fire extinguishers will need to be provided in the office area. Drawing G101 dated 7/11/14 indicates the proposed locations of fire extinguishers in the warehouse section only.
- A smoke exhaust and removal system will need to be discussed during the pre-construction meeting.
- Truck staging shall not decrease the width of the fire lanes to less than 30 feet.

- Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage. Severe weather shelter area is indicated on plan G101 dated 7/11/14.
- All outside doors must have access to the interior. Such as a lock and handle provided at each door.

4. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

1. Site accessibility
2. Fire Pump Location
3. Pumper Pad
4. Fire hydrant spacing

B. Conditional Use and Operational

- | | |
|--------------------------------|--------------------------------|
| 1. Standpipe outlet locations | Not shown at this time. |
| 2. Fire alarm pull stations | Not shown at this time. |
| 3. Emergency and Exit Lighting | Not shown at this time. |
| 4. Fire extinguishers | |

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
7. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

8. **The following information must be submitted with the sprinkler plans for review:**

Building height:
Number of stories/floors:
Mezzanines:
Elevators:
Hazard class:
Commodity:
Maximum storage height:
Square footage, office space:
Square footage, receiving space:
Square footage, shipping space:
Square footage, warehouse space:
Exterior storage:
Fire protection:

9. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

Permit fees must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

10. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

11. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

12. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
 - b. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.

13. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.

14. **Fire Pump:** There shall be sufficient room to maneuver within the fire pump room. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180-16. There shall also be sufficient room for placement of the Fire Alarm Control Panel (FACP), along with the required maps of the fire protection systems.

- **Storage:** The Owner needs to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.

NOTE: Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.

15. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.

16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire and Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.

17. **Standpipes:** Standpipes shall be provided in the warehouse/storage areas of the building. In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.

18. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
19. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.
20. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
21. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.
NOTE: The Fire Protection Designer must meet with the Fire and Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.
22. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting.
23. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

24. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance. A strobe light shall also be provided outside of the fire pump room to indicate a fire pump run, with a sign installed under the strobe light.
25. **Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - g. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. Phone line, RF Radio and /or Cellular technologies.
 - h. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

- 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue
Medical: Pleasant Prairie Fire & Rescue

Phone numbers:
Emergency: (262) 694-1402
Non-emergency: (262) 694-7105

Business: (262) 694-8027

26. **Knox Box:** Knox Boxes shall be provided for the building, a determination of the exact number required will need to be made during the pre-construction meeting. One by each riser door, fire pump room and other needed access routes. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
27. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room.
30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.

- m. AED, in place at such time a tenant takes occupancy.
- n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
- 31. **Fees:** Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
- 32. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.
- 33. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
 - a) a minimum signal strength of -98 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
 - b) a minimum signal strength of -98 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
 - c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a "Telecommunications Systems Bulletin" published by the TIA, Telecommunications Industry Association. The performance level is rated using "Delivered Audio Quality". Industry standard DAQ definitions are shown in Table 1.
 - d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

- e) The frequency range which must be supported shall be 151.0000 to 159.0000 MHz.

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage; a radiating cable system or an internal multiple antenna system with or without FCC typed-accepted signal booster amplifiers as needed. If any part of the installed system or systems contains electrically powered components, the system shall be capable of operating on an independent battery and/or generator system for a period of at least twelve (12) hours without external power input. Any battery system employed shall automatically recharge in the presence of an external power input.

The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio system.

In the event that a signal booster is employed, it shall be fully encased within a dust and water resistant case.

Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

Peggy Herrick

From: Gary Sipsma <Gary.Sipsma@kenoshacounty.org>
Sent: Friday, August 08, 2014 10:25 AM
To: Jean Werbie-Harris; Peggy Herrick
Cc: Ronald Schildt
Subject: ULINE

Jean, Pursuant to your request of ULINE Corporate Campus plan review, the following are review comments:

- 1) Kenosha County previously provided review comments of the "Initial Development Review for Distribution Center Development" dated June 2, 2014. The review comments are bullet points below. To date, Kenosha County has not received the abbreviated TIA. Kenosha County approval of impacts to County Trunk Highways, including but not limited to access, is subject an acceptable TIA.
 - An abbreviated TIA is acceptable.
 - Include in the TIA, an analysis of the proposed new access point on CTH "Q" located +/- 700-feet east of CTH U. Approval of a permit for this access is pending review of this analysis.
 - Include in the TIA, an analysis of the intersection of CTH U & CJ.
 - Include in the TIA, an analysis if the sight distance at the proposed new access point on CTH U south of CTH CJ.
 - All of CTH Q and CTH U, south of CTH CJ are designated as Bike Routes on the Kenosha County Comprehensive Bicycle Plan. The Bicycle Accommodations should be included in the TIA.
- 2) The preliminary certified survey map of property located within the Village of Bristol (dated June 11, 2014) is acceptable.
- 3) There is insufficient detail on the plans to approve or permit the proposed emergency access point on CTH "U".
- 4) There is insufficient detail on the plans to approve or permit the proposed access on CTH "Q". The location of the proposed access point on CTH"Q" is problematic due to its location within a transition area from 4-lanes to 2-lanes. In order to address the potential traffic safety and operational problems, the plan shall include an exclusive westbound left turn accommodation for the proposed CTH "Q" access.
- 5) Submittal of pre and post hydraulic conditions of the cross culvert located on CTH "Q" approximately 450-feet east of CTH "U" are required.
- 6) A permit from Kenosha County is required for all work within the right of way of CTH "U" and CTH "Q" including those lands to be dedicated to Kenosha County by Certified Survey Map.

Gary Sipsma
Director of Division of Highways and
Highway Commissioner
Kenosha County Public Works
19600 75th Street
Suite 122-1
Bristol, WI 53104

Phone (262) 857-1870
Fax (262) 857-1885



**VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20
Preliminary Determination of Completeness on:	20
Revised Plans Submitted:	20
<input type="checkbox"/> Public Hearing Required: Hearing Date:	, 20
Published on: _____ and _____, 20	Notices sent on: _____, 20
Approved by <input type="checkbox"/> Plan Commission on _____	20
<input type="checkbox"/> Zoning Administrator on _____	20
Denied by <input type="checkbox"/> Plan Commission on _____	20
<input type="checkbox"/> Zoning Administrator on _____	20

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: ULINE

SITE ADDRESS: 12575 ULINE DRIVE PLEASANT PRAIRIE

BRIEF PROJECT DESCRIPTION: DISTRIBUTION CENTER WITH OFFICE SPACE

PROPOSED NUMBER OF FULL TIME EMPLOYEES: SEE OPERATIONAL PLAN

PROPOSED NUMBER OF PART-TIME EMPLOYEES: SEE OPERATIONAL PLAN

SITE SIZE: (LOCALIZED) 23,940,000 sq. ft. 290 acres

PROPOSED BUILDING SIZE: 1,100,000 sq.ft. HEIGHT: 39 ft.

PROPOSED ADDITION SIZE: _____ sq.ft. HEIGHT: _____ ft.

LEGAL DESCRIPTION: LOT 1 OF CSM 2079

TAX PARCEL NUMBER(S) : 91-4-121-252-0203

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: PLANNED UNIT DEVELOPMENT

- Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
- Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) 1,068,000 sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B 32,000 sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 1,000

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
 - Date of initial site and operational plan approval: 5/22/14
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building. (SEE OPERATIONAL PLAN)
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.

2. **Are you amending an existing Conditional Use Permit?** YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.

3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.

2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**


- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

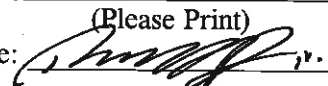
SECTION 8: SIGNATURES

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: Route 165 LLC - Randy Copenhagen
 (Please Print)
 Signature: 
 Address: 12575 Ulina Drive
Pleasant Prairie, WI 53158
 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

APPLICANT:

Name: Randy Copenhagen
 (Please Print)
 Signature: 
 Address: 12575 Ulina Drive
Pleasant Prairie, WI 53158
 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

USER OR OCCUPANT OF SITE:

Name: _____
 (Please Print)
 Signature: _____
 Address: _____

 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 E-mail: _____
 Date: _____

THIS DOCUMENT HAS BEEN PREPARED TO SATISFY PROCEDURAL REQUIREMENTS OF THE VILLAGE OF PLEASANT PRAIRIE FOR FINAL SITE & OPERATIONAL PLAN APPROVAL TO ALLOW FOR THE CONSTRUCTION OF A NEW DISTRIBUTION CENTER AT 12575 ULINE DRIVE IN PLEASANT PRAIRIE WISCONSIN.

- 1. Operational plan requirements.
 - a. A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

The site is currently being used under a Planned Unit Development (PUD) for the purposes of supporting office and warehouse/distribution functions for ULINE.

As part of the original PUD, future office and warehouse structures were planned. Subsequent to the PUD Agreement, ULINE has worked with the Village of Pleasant Prairie and Village of Bristol to acquire and annex additional lands into Pleasant Prairie to support a larger warehouse /distribution center than originally proposed. Concept documents for this expanded future development were submitted and approved in 2010 (Village Ordinance 08-45 amended with 10-58).

The existing office building on the ULINE Pleasant Prairie Campus is the Uline Corporate Headquarters facility. The existing distribution center supports Uline Warehouses located throughout the country. The office building and distribution center functions will not change with this development

Impacts to adjacent properties are not anticipated as this submittal is believed to be in conformance with documents provided for concept approvals obtained in 2010.

- b. A detailed description of the proposed project or activity giving rise to the need for site and operation al plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The proposed 1,100,000 sf Distribution Center (referred to as W-2) is being planned to support ULINE’s ongoing business growth. The facility will be utilized as a distribution center for bulk storage / material handling equipment consistent with the existing warehouse/distribution center. The building will include approximately 32,000 square feet of office space. Unless indicated otherwise the information provided below applies specifically to the proposed W-2 Distribution Center .

- c. Gross floor area of the existing building(s) and /or proposed addition.
 - Existing: Office Building: 274,704 sf**
 - Existing Distribution Center: 1,086,500 sf**
 - Proposed Distribution Center: 1,100,000 sf**

- d. Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.
 - The W-2 facility will operate 24 hours a day 7 days a week.**

- e. Anticipated startup and total number of full- and part-time employees.
The proposed W-2 distribution center will have 350 full time employees at start up. Future employee staff growth is anticipated at this facility.
- f. Anticipated number of shifts and the anticipated number of employees per shift.
There will be 3 warehouse shifts per every 24 hour period. Refer to item “g” below for employee counts
- g. Anticipated maximum number of employees on site at any time of the day.
For W-2 the following employee counts are anticipated- One-hundred (100) office employees are anticipated at start up. Two hundred fifty (250) warehouse employees are anticipated at start up. Fifty per cent (50%) or 125 warehouse employees will be on the first shift. The remainder of warehouse employees will be evenly distributed between the second and third shifts. The maximum number of employees expected on site is 300. This includes 200 warehouse employees during a shift change and 100 office employees.
- h. Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.
N/A
- i. Number of parking spaces required per this chapter and the method used to calculate such number.
Required Parking spaces based on Village of Pleasant Prairie Zoning Ordinance 420-50

**Warehouse/distribution centers: 1 space for every 2 employees during any 12-hour period
200 employees / 2 = 100 parking spaces**

Office: 1 space per 250 square feet: 32,000 sf of Office / 250 = 128 parking spaces

Total Required Parking Spaces= 228
- j. Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).
This facility will operate independently so parking will be provided independently to ensure adequate parking.
Total Provided Parking Spaces= 415 (includes 12 accessible spaces).
- k. Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).
Forecast Maximum: 350
Forecast Average: 300
- l. Anticipated daily average and maximum potential number of truck trips to and from the site.
Forecast: Inbound: 100/day Outbound: 100/day
- m. Types of good and materials to be made, used or stored on site.
Forecast: Material Handling supplies.
- n. Types of equipment or machinery to be used on site.

Typical material handling equipment (lift trucks, maintenance vehicles, etc.)

- o. Types of solid or liquid waste materials which will require disposal.

N/A

- p. Method of handling, storing and disposing of solid or liquid waste materials.

N/A

- q. Methods of providing site and building security other than the Village Police Department.

The existing site is primarily monitored by its employees with supplemental monitoring by security personnel. Two guard-shacks will be provided- one at each entrance drive to the warehouse facilities. Inbound/outbound movements for the existing and future facility are/will be directed to the enter/exit driveways with guard-shacks .

- r. Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

ULINE has an extensive maintenance and beautification program at all of its facilities. The same care and effort will be provided to the mass graded site and future facilities.

- s. Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

Mass grading efforts include the construction of a massive screening berm along CTH "U" and the adjacent parcel to the south. Extensive consideration for the neighbors has contributed to the design of these screening efforts.

- t. A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.

- **Notice of Intent (NOI): Permit granted by WDNR.**
- **Petition for Variance Request for Increased Exit Access Travel Distance- Granted by Wisconsin Department of Safety and Professional Services (DSPS)**
- **Erosion Control Permit: Pending approval by Village of Pleasant Prairie.**
- **State Plan Approval for Building and HVAC - documents to be submitted to Wisconsin DSPS**
- **State Exterior Plumbing Permit- documents to be submitted to Wisconsin DSPS**
- **Building Permit – documents to be submitted to Village of Pleasant Prairie.**
- **County Access Permit- documents to be submitted to County**



ULINE DISTRIBUTION CENTER

12575 Uline Drive
Pleasant Prairie, WI 53158

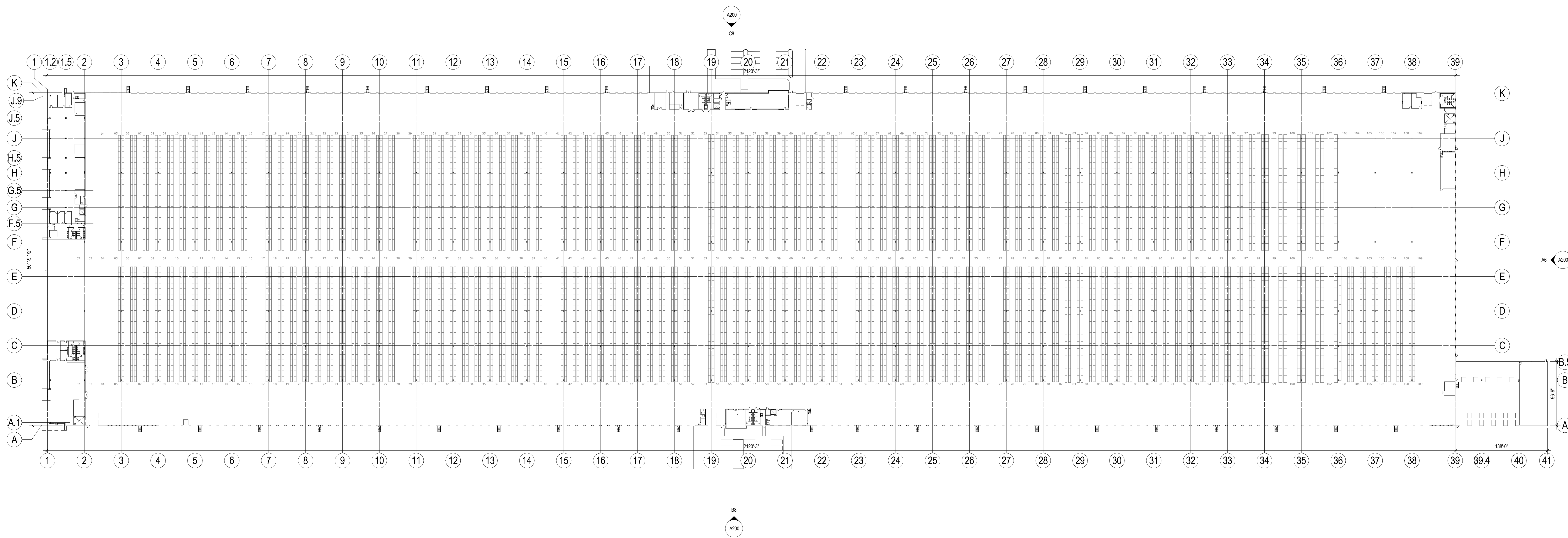


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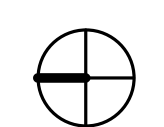
FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

07/11/2014

PROJECT NUMBER: 213394-01



A7 FIRST FLOOR OVERALL
1" = 60'-0"



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KEY PLAN

ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE DISTRIBUTION CENTER

12575 Uline Drive
Pleasant Prairie, WI 53158



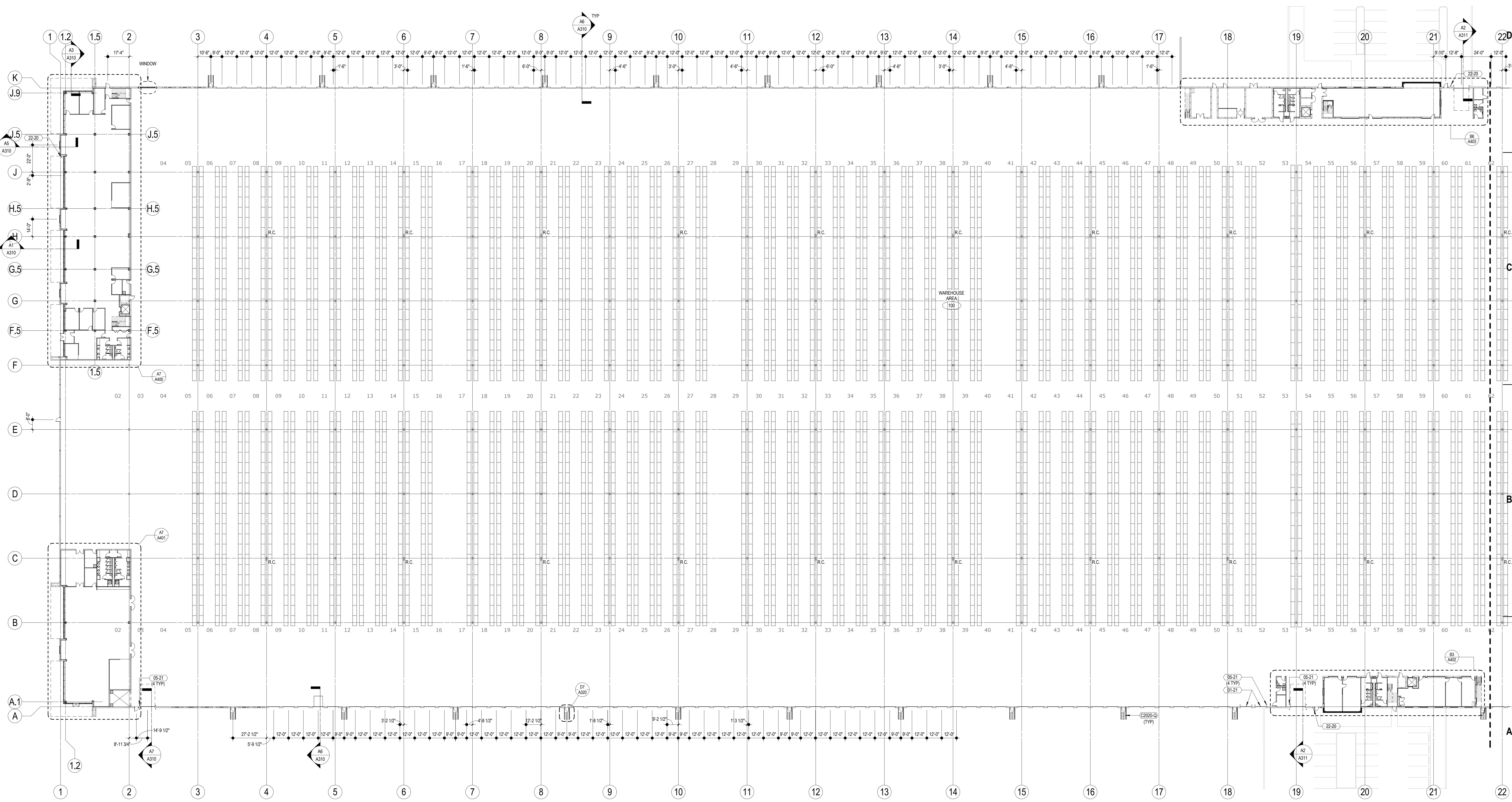
SHEET INFORMATION

DATE: 07/11/2014 OVERALL FLOOR
PROJECT NUMBER: 213394-01 PLAN
PROJECT MANAGER: PEK

A101

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KEYNOTES	
01-21	TRASH COMPACTOR LOCATION
05-21	6" CONCRETE FILLED STEEL BOLLARD, 48" HIGH
05-26	1 1/2" STEEL PIPE PAINTED GUARDRAIL ASSEMBLY
22-20	HOSE BIBB
C200-Q	EXTERIOR DOCK STAIR SYSTEM

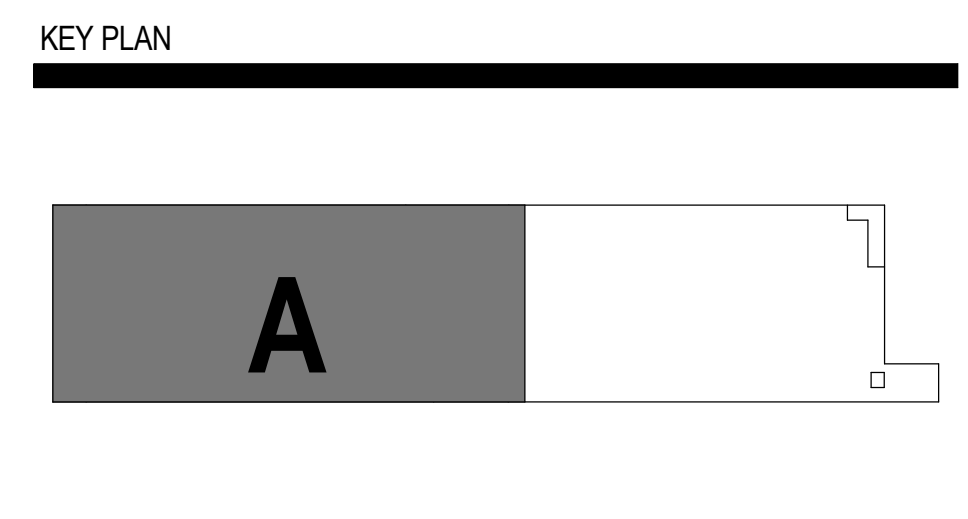


A1 OVERALL FIRST FLOOR NORTH
1" = 30'-0"



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FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

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PROJECT INFORMATION

ULINE DISTRIBUTION CENTER

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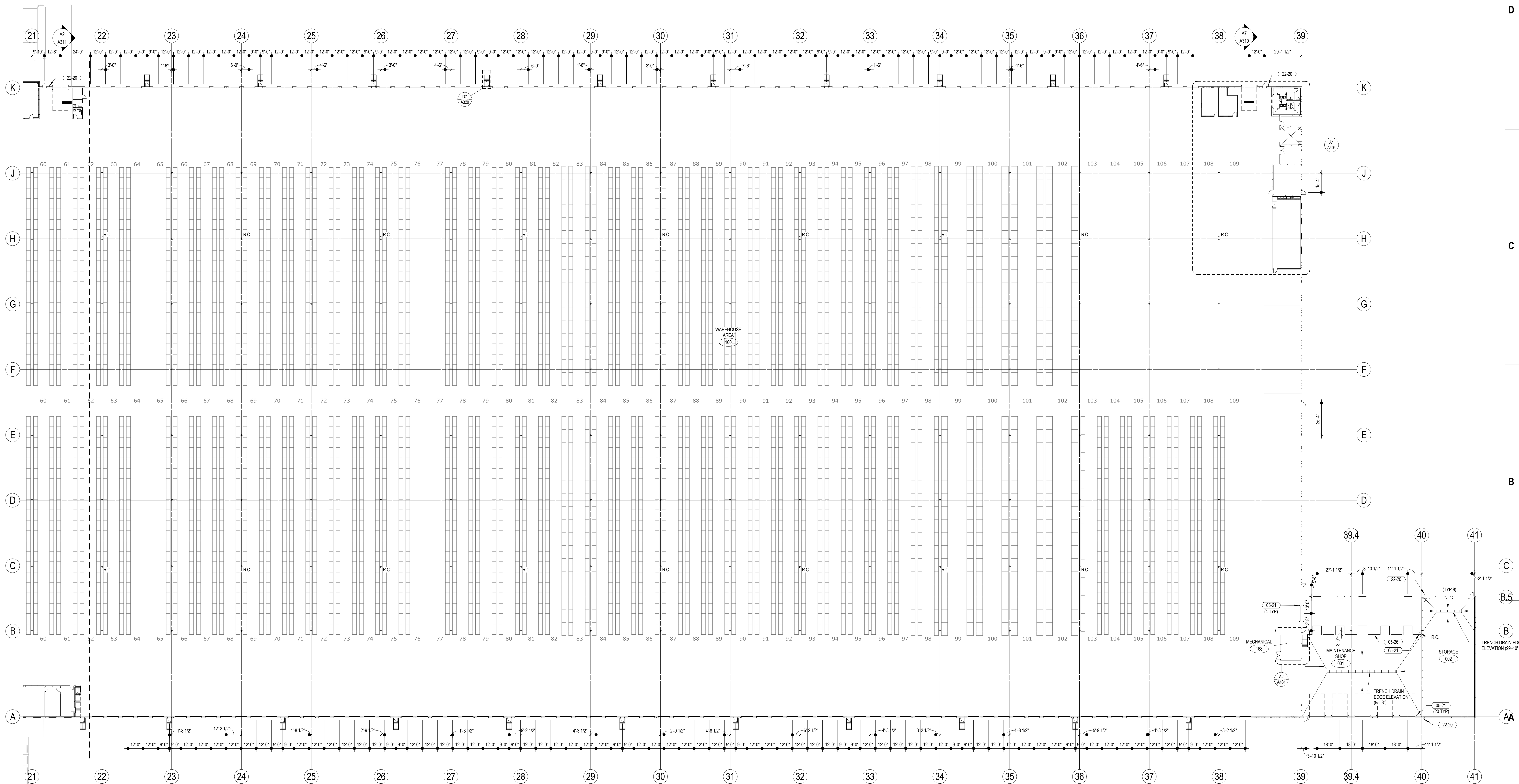
SHEET INFORMATION

DATE:	07/11/2014	PARTIAL FLOOR
PROJECT NUMBER:	213394-01	PLAN - AREA A
PROJECT MANAGER:	PEK	

A101A

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KEYNOTES	
01-21	TRASH COMPACTOR LOCATION
05-21	6" CONCRETE FILLED STEEL BOLLARD, 48" HIGH
05-26	1 1/2" STEEL PIPE PAINTED GUARDRAIL ASSEMBLY
22-20	HOSE BIBB



A7 OVERALL FIRST FLOOR SOUTH
1" = 30'-0"

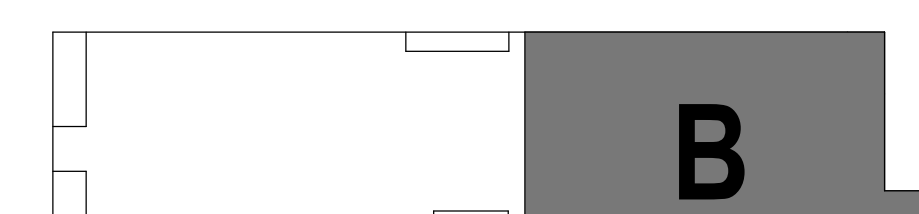


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KEY PLAN



ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE DISTRIBUTION CENTER

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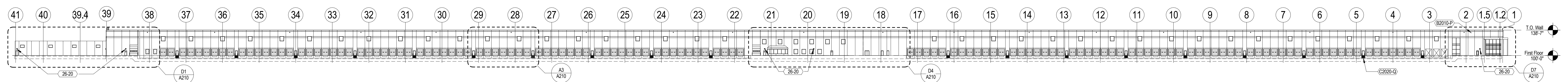
SHEET INFORMATION

DATE:	07/11/2014	PARTIAL FLOOR
PROJECT NUMBER:	213394-01	PLAN - AREA B
PROJECT MANAGER:	PEK	

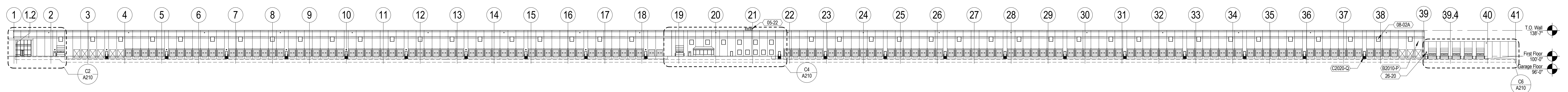
A101B

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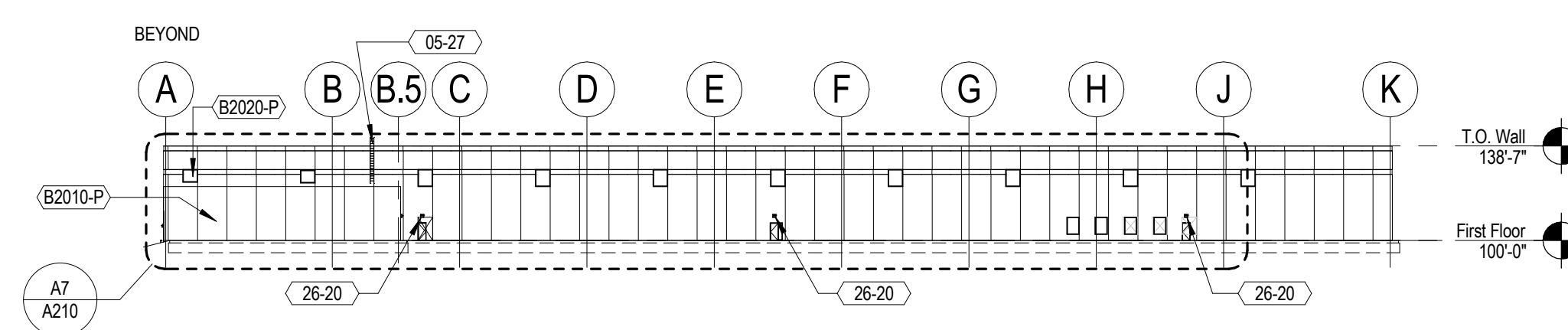
KEYNOTES	
05-22	1 1/2" STEEL PIPE HANDRAIL AND GUARDRAIL ASSEMBLY
05-27	1/2" X 1 1/2" RAILS AT 18" O.C. WITH 3/4" DIAMETER RUNGS AT 12" O.C. WITH WELDED STEEL BRACKETS ANCHORED TO WALL. LADDER SHALL BE GALVANIZED, PRIMED AND PAINTED. EXTEND FROM 1'-0" ABOVE LOW ROOF TO 3'-0" ABOVE HIGH ROOF LEVEL.
08-02A	ALUMINUM FRAMED STOREFRONT W/ INSULATING GLASS
26-20	WALL MOUNTED LIGHT FIXTURE
B2010-P	INSULATED LOAD BEARING PRECAST CONCRETE PANEL WITH PAINTED FINISH
B2020-P	THERMALLY BROKEN ALUMINUM STOREFRONT GLAZING SYSTEM WITH PAINTED FINISH TBD
B2020-Q	THERMALLY BROKEN ALUMINUM CURTAINWALL GLAZING SYSTEM WITH PAINTED FINISH TBD
B3011-Q	PREFINISHED METAL PANEL CANOPY ON AIR AND WATER BARRIER ON FIBERGLASS REINFORCED SHEATHING OVER COLD FORM METAL FRAMING SYSTEM. COLOR TO MATCH FT-2
C2020-Q	EXTERIOR DOCK STAIR SYSTEM



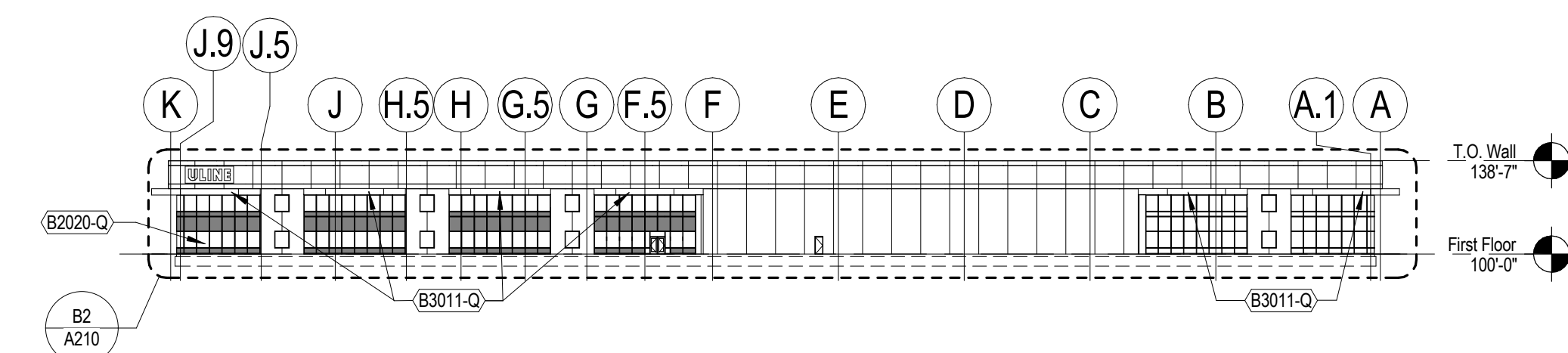
C8 EAST ELEVATION
1" = 60'-0"



B8 WEST ELEVATION
1" = 60'-0"



A6 SOUTH ELEVATION
1" = 60'-0"



A8 NORTH ELEVATION
1" = 60'-0"



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KEY PLAN

ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE DISTRIBUTION CENTER

12575 Uline Drive
Pleasant Prairie, WI 53158

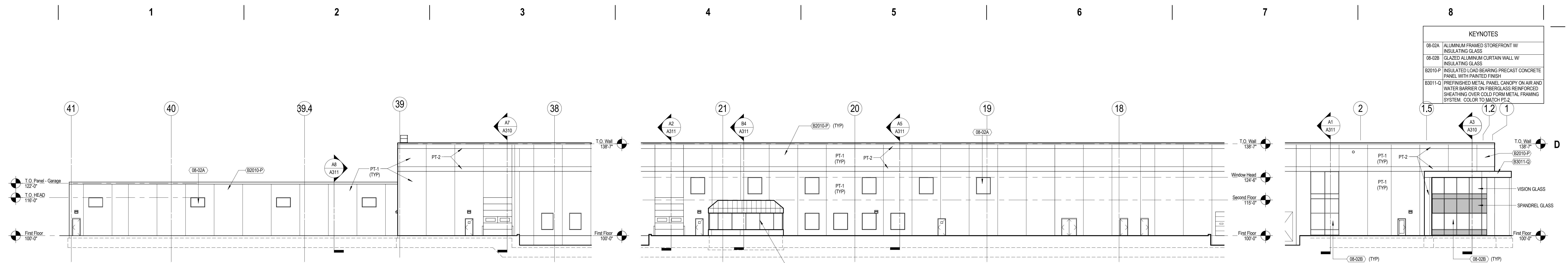


SHEET INFORMATION

DATE: 07/11/2014 EXTERIOR ELEVATIONS
PROJECT NUMBER: 213394-01
PROJECT MANAGER: PEK

A200

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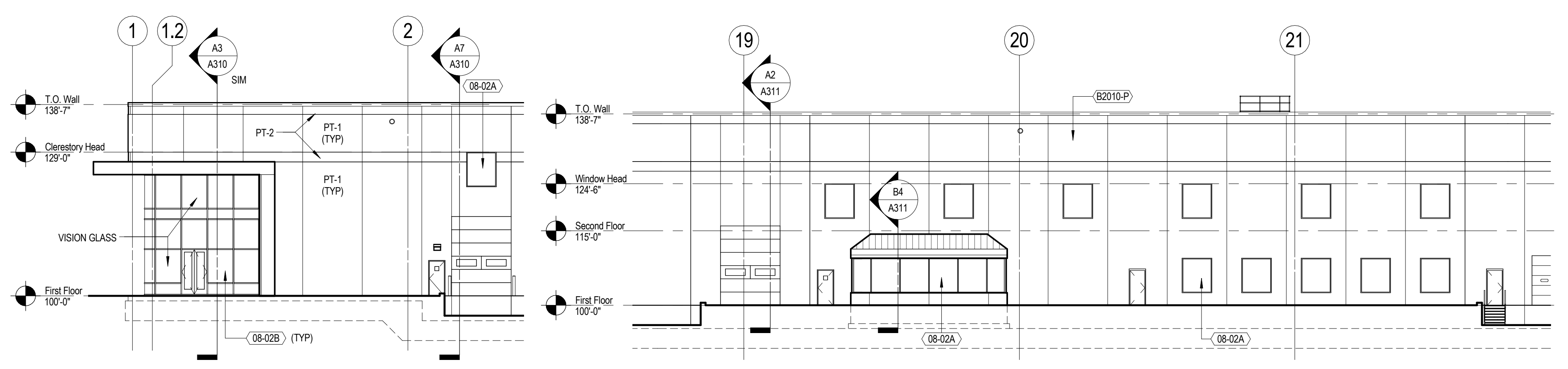


KEYNOTES	
08-02A	ALUMINUM FRAMED STOREFRONT W/ INSULATING GLASS
08-02B	GLAZED ALUMINUM CURTAIN WALL W/ INSULATING GLASS
B2010-P	INSULATED LOAD BEARING PRECAST CONCRETE PANEL WITH PAINTED FINISH
B3011-Q	PREFINISHED METAL PANEL CANOPY ON AIR AND WATER BARRIER ON FIBERGLASS REINFORCED SHEATHING OVER COLD FORM METAL FRAMING SYSTEM. COLOR TO MATCH PT-2

D1 PARTIAL EAST ELEVATION
1/16" = 1'-0"

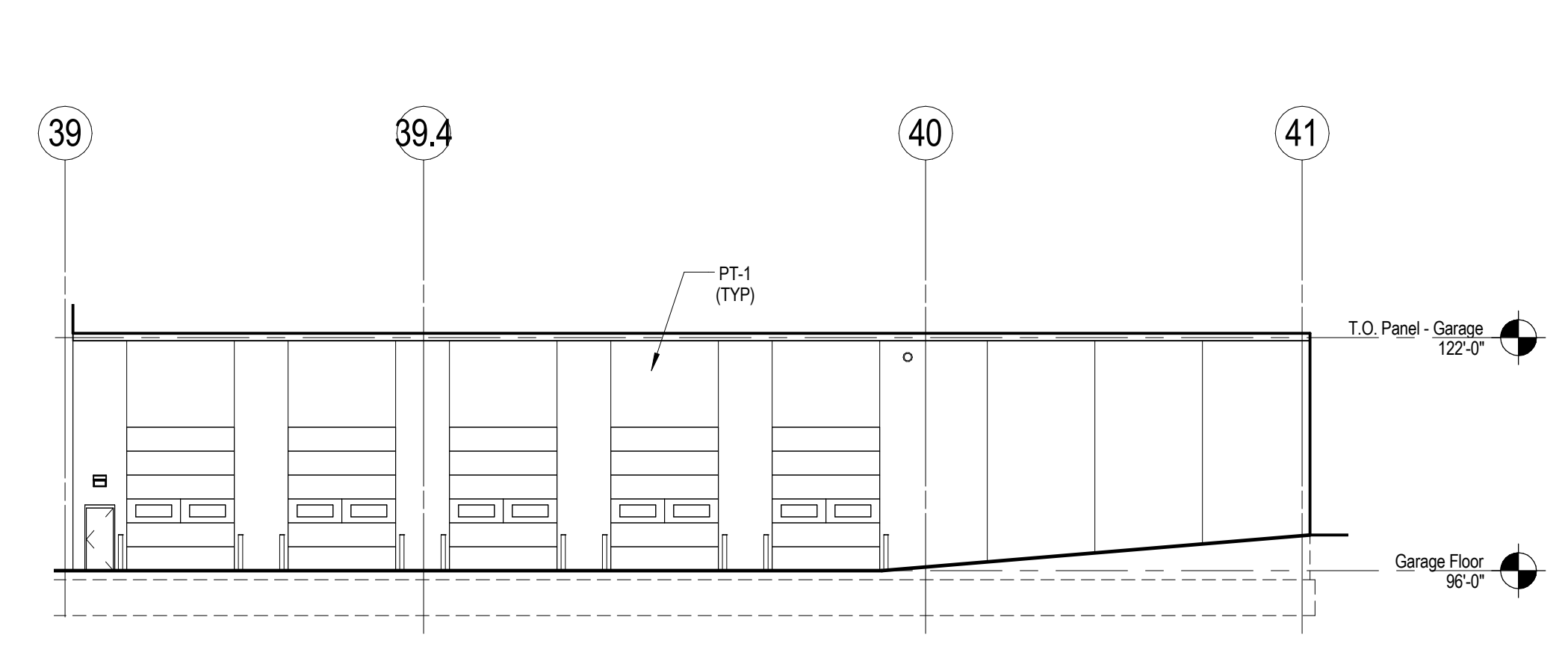
D4 PARTIAL EAST ELEVATION
1/16" = 1'-0"

D7 PARTIAL EAST ELEVATION
1/16" = 1'-0"

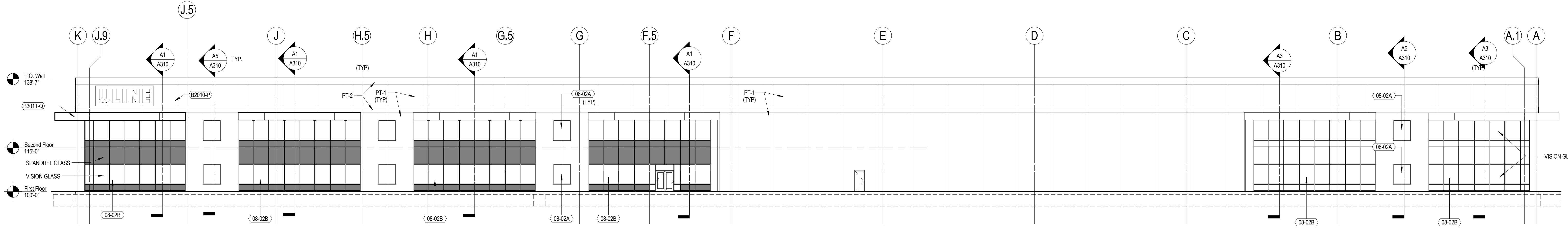


C2 PARTIAL WEST ELEVATION
1/16" = 1'-0"

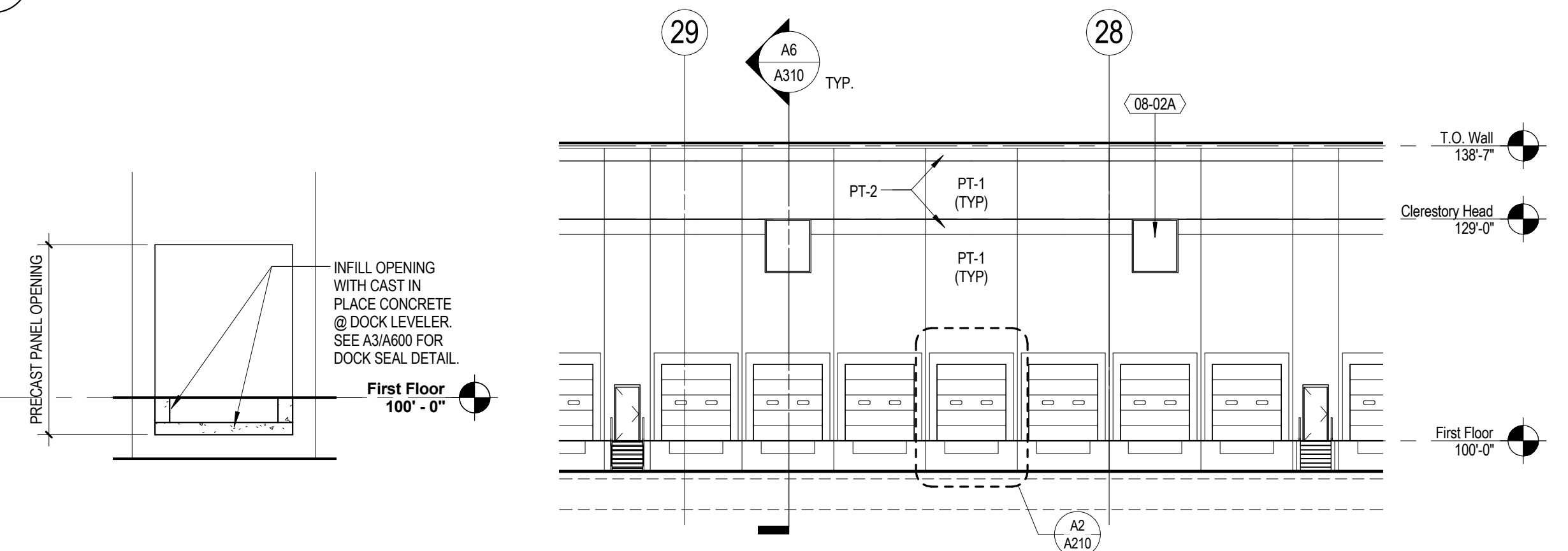
C4 PARTIAL WEST ELEVATION
1/16" = 1'-0"



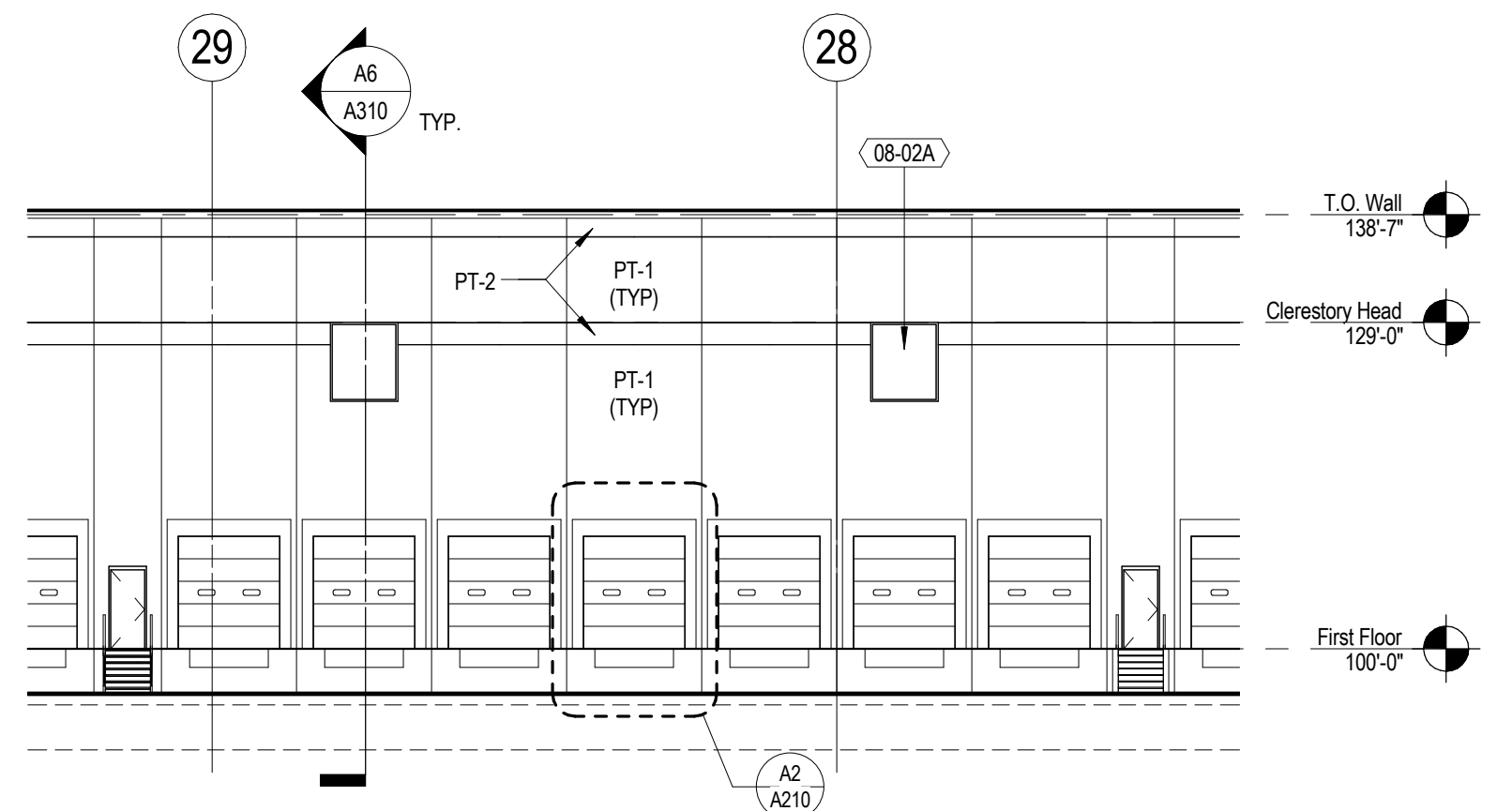
C6 PARTIAL WEST ELEVATION
1/16" = 1'-0"



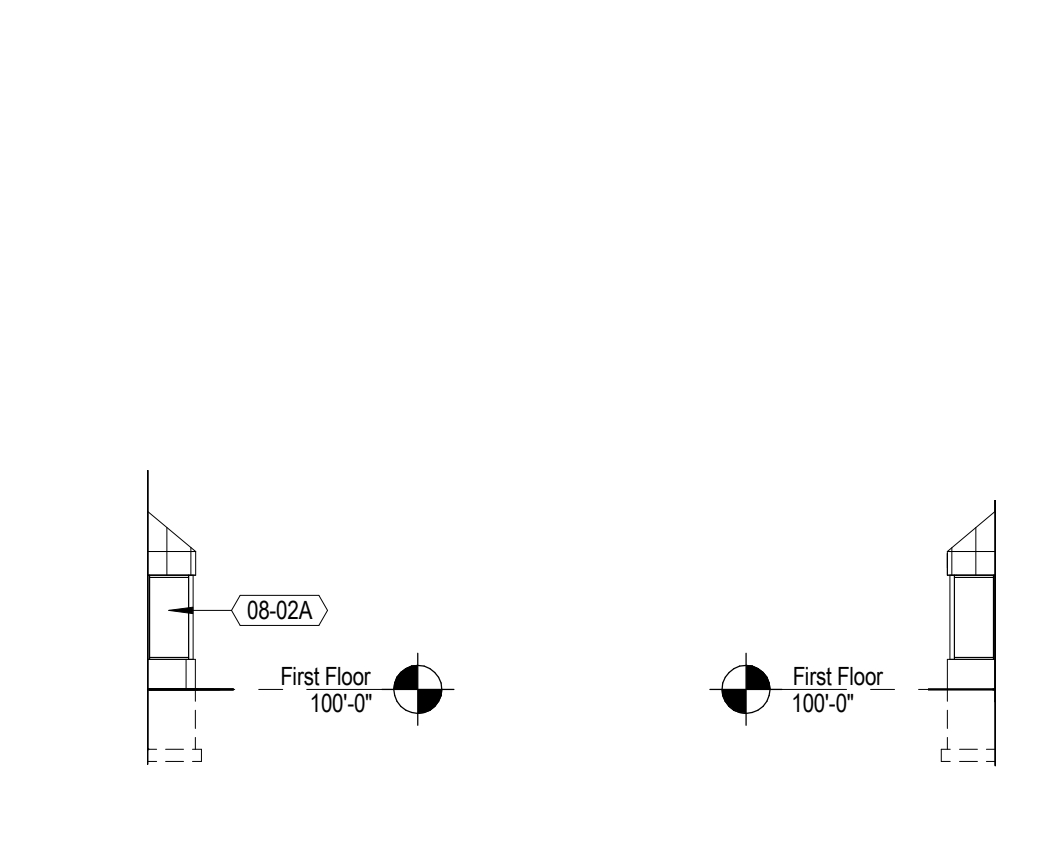
B2 FULL NORTH ELEVATION
1/16" = 1'-0"



A2 PRECAST PANEL @ DOCK OPENING
1/8" = 1'-0"
TYPICAL @ DOCK LEVELERS

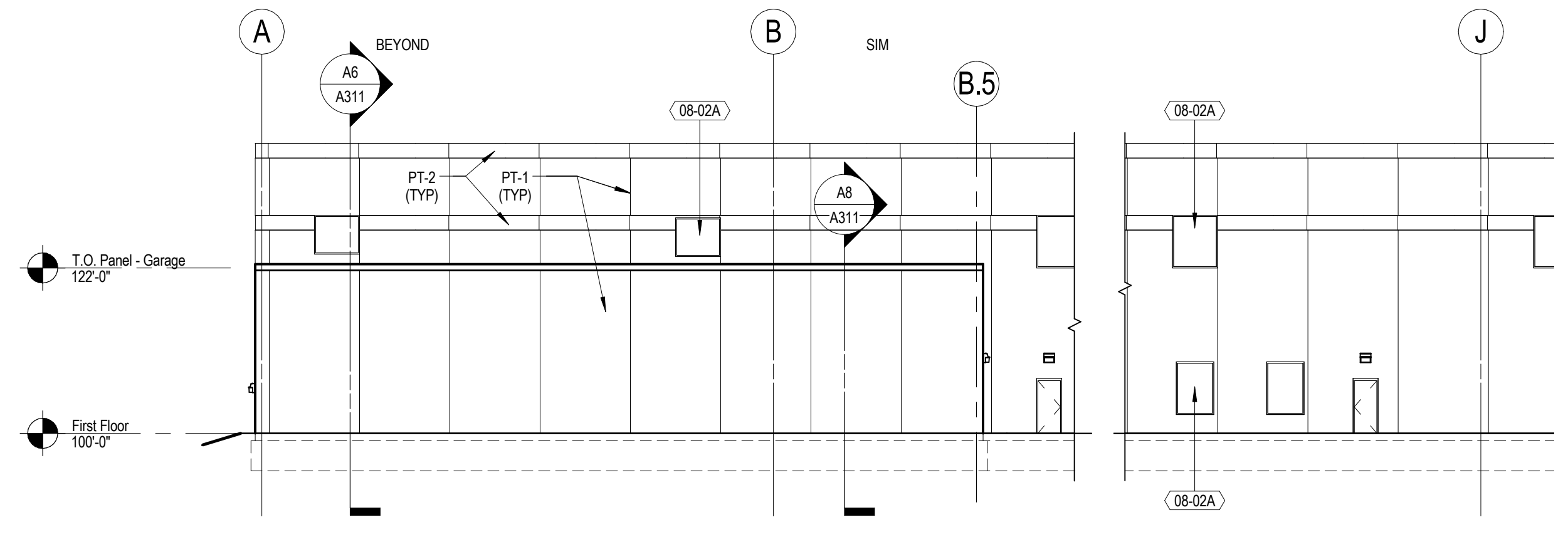


A3 PARTIAL ELEVATION - TYPICAL DOCK BAY
1/16" = 1'-0"



A4 BAY WINDOW - SIDE ELEVATION
1/16" = 1'-0"

A5 BAY WINDOW - SIDE ELEVATION
1/16" = 1'-0"



A7 PARTIAL SOUTH ELEVATION
1/16" = 1'-0"



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KEY PLAN

ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE DISTRIBUTION CENTER

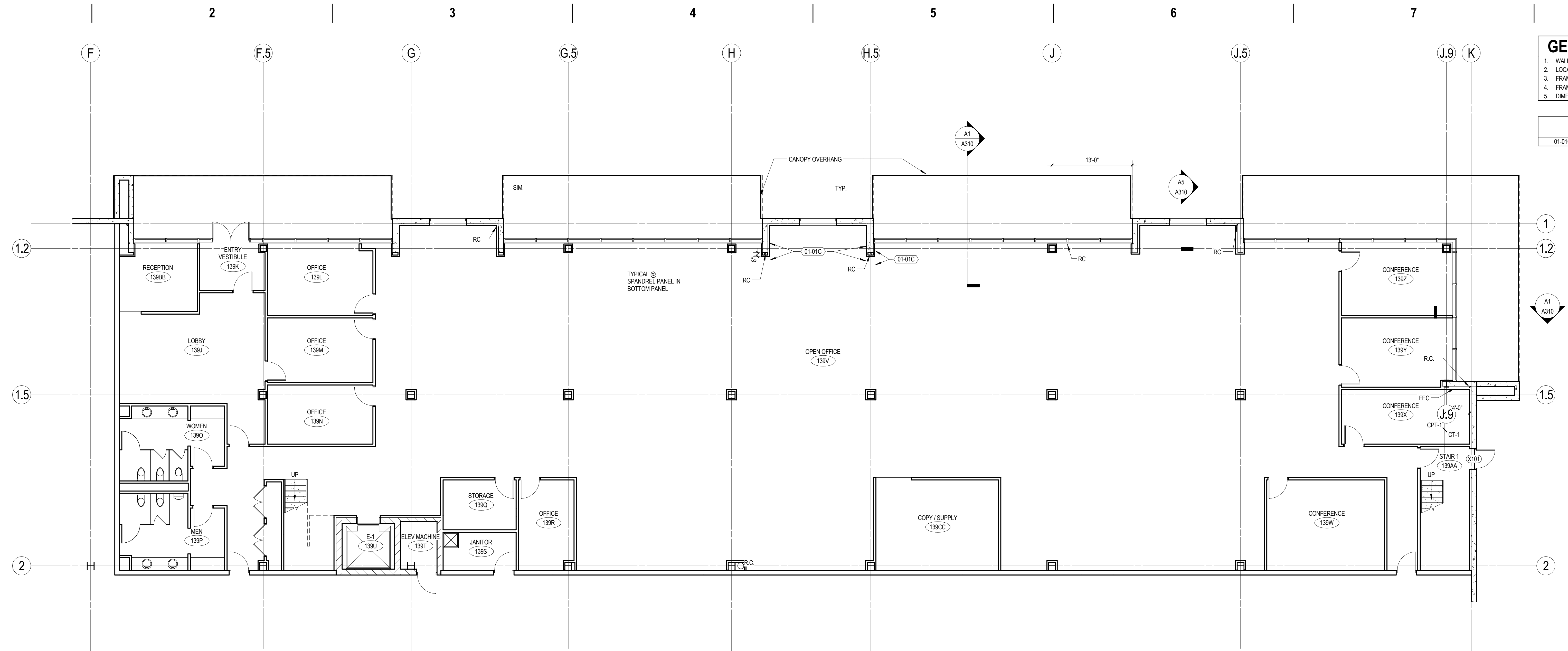
12575 Uline Drive
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SHEET INFORMATION

DATE:	07/11/2014	PARTIAL EXTERIOR ELEVATIONS
PROJECT NUMBER:	213394-01	
PROJECT MANAGER:	PEK	

A210
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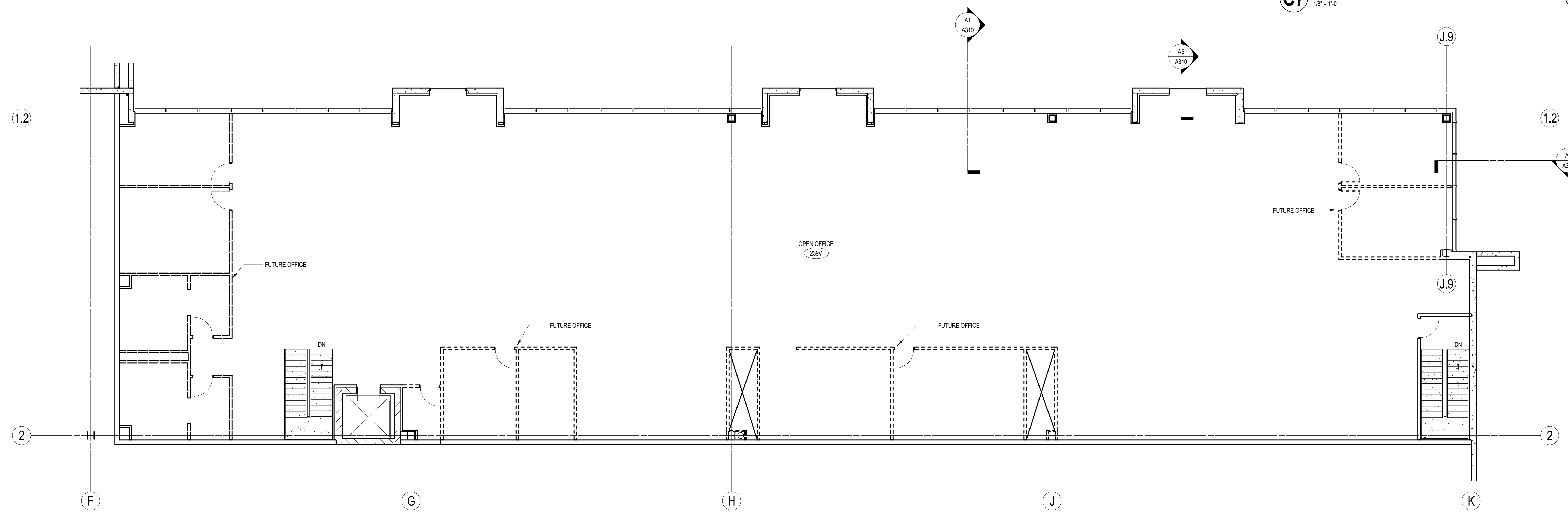
GENERAL FLOOR PLAN NOTES

1. WALLS TO BE TYPE 330-11 UNLESS NOTED OTHERWISE.
2. LOCATE DOOR JAMBS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. FRAMED MASONRY OPENINGS TO BE 9'-4" A.F.F., UNLESS NOTED OTHERWISE.
4. FRAMED GYP BD OPENING TO BE 9'-2" A.F.F., UNLESS NOTED OTHERWISE.
5. DIMENSIONS SHOWN ARE TO FACE OF GYP BD UNLESS NOTED OTHERWISE.

KEYNOTES

01-01C ALIGN WALL FACES

C7 PARTIAL FLOOR PLAN - OFFICE - NORTHEAST
1/8" = 1'-0"



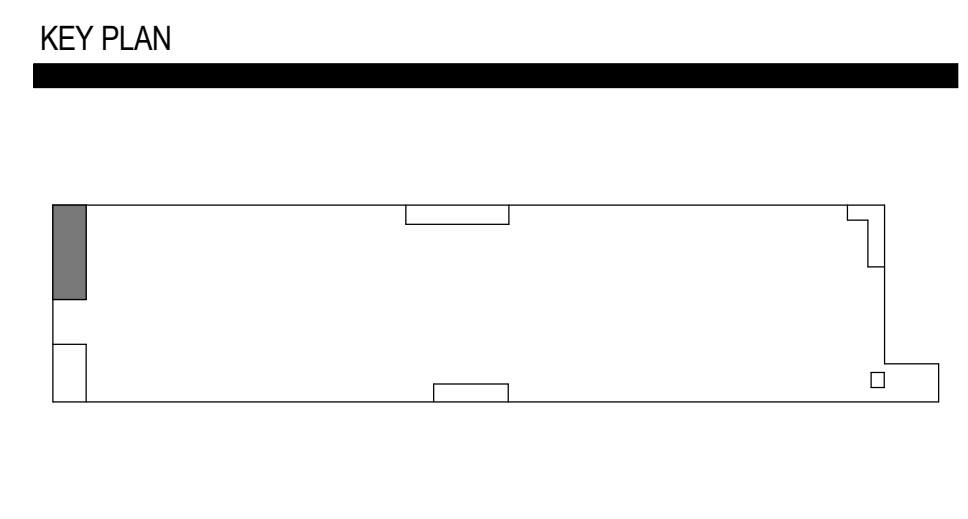
A7 SECOND FLOOR PLAN - OFFICE - NORTHEAST
1/8" = 1'-0"



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ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

#	DATE	DESCRIPTION

PROJECT INFORMATION

ULINE DISTRIBUTION CENTER

12575 Uline Drive
Pleasant Prairie, WI 53158

SHEET INFORMATION

DATE: 07/11/2014 **ENLARGED FLOOR PLANS NE OFFICE**

PROJECT NUMBER: 213394-01

PROJECT MANAGER: PEK

A400

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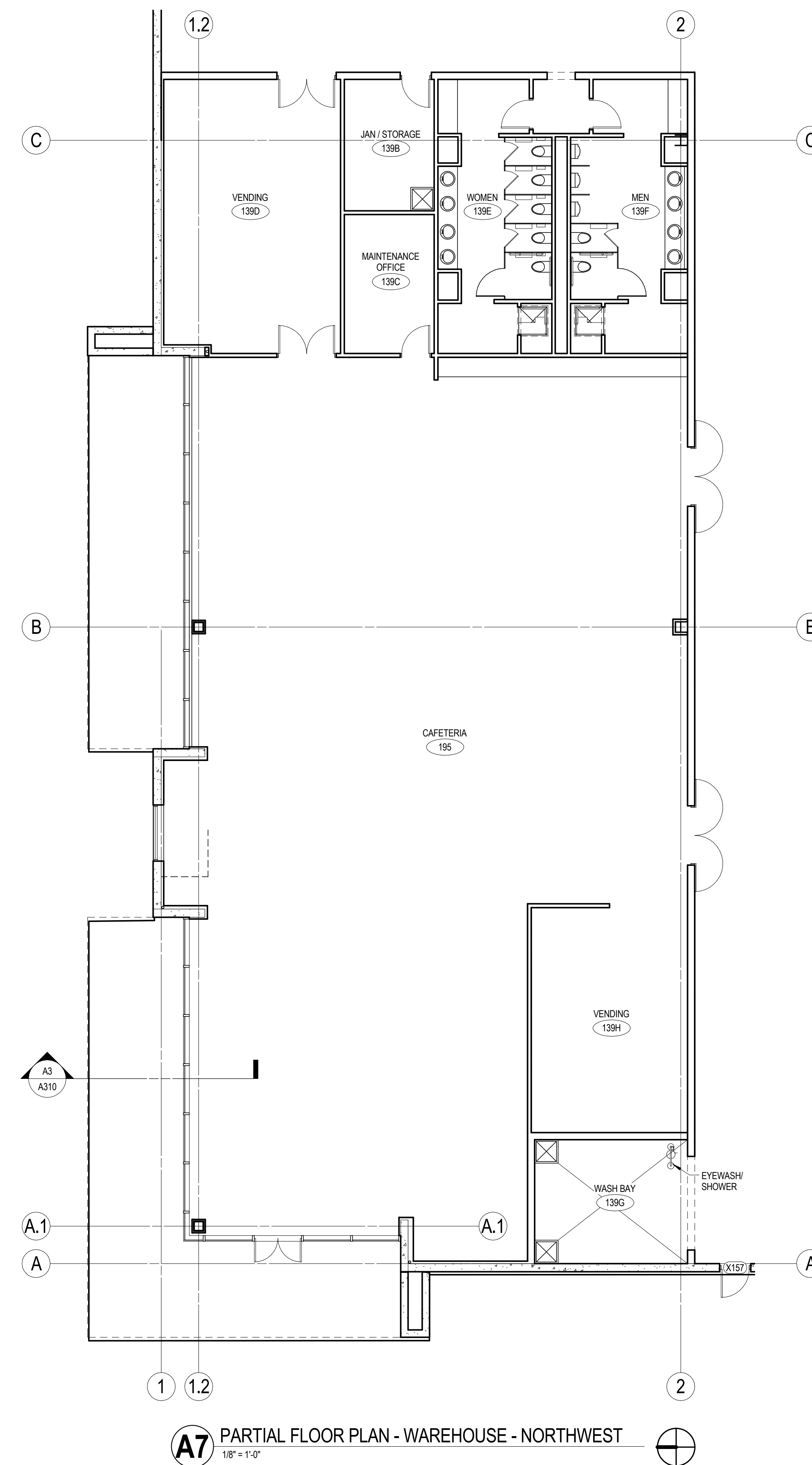
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8

GENERAL FLOOR PLAN NOTES

- 1. WALLS TO BE TYPE S3C-11 UNLESS NOTED OTHERWISE.
- 2. LOCATE DOOR JAMBS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- 3. FRAMED MASONRY OPENINGS TO BE 9'-4" A.F.F., UNLESS NOTED OTHERWISE.
- 4. FRAMED GYP BD OPENING TO BE 9'-2" A.F.F., UNLESS NOTED OTHERWISE.
- 5. DIMENSIONS SHOWN ARE TO FACE OF GYP BD UNLESS NOTED OTHERWISE.

KEYNOTES

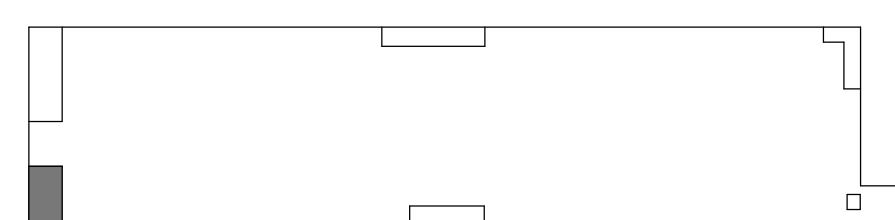


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KEY PLAN



ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

#	DATE	DESCRIPTION

PROJECT INFORMATION

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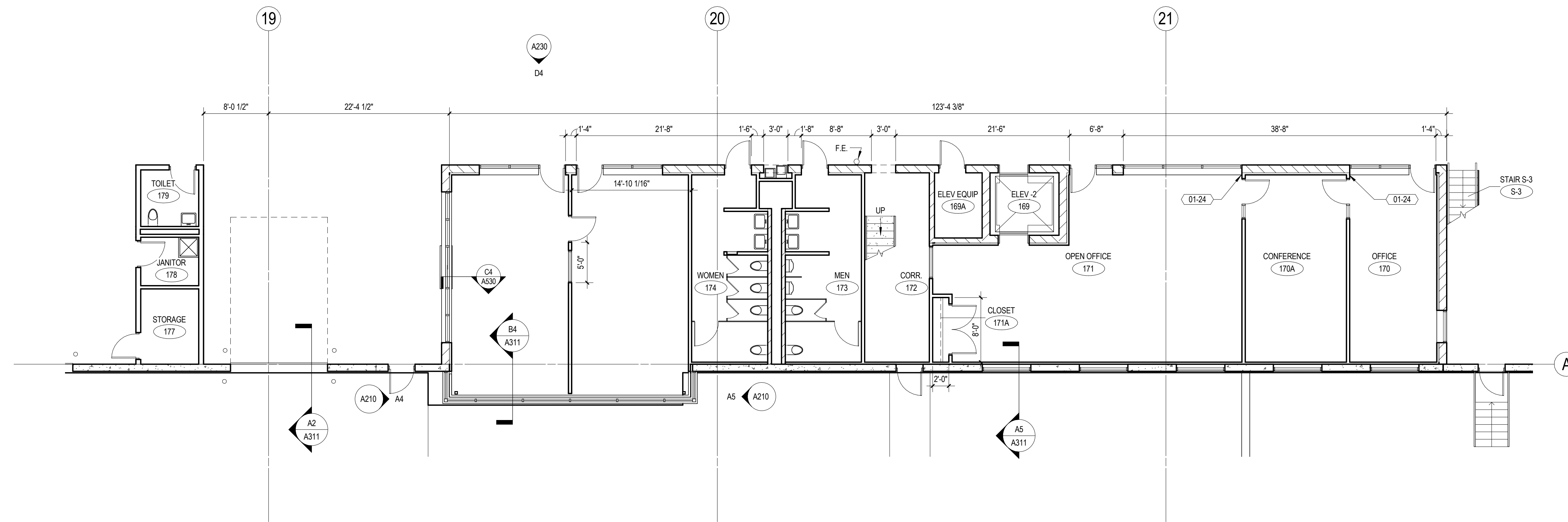
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 PROJECT MANAGER: PEK

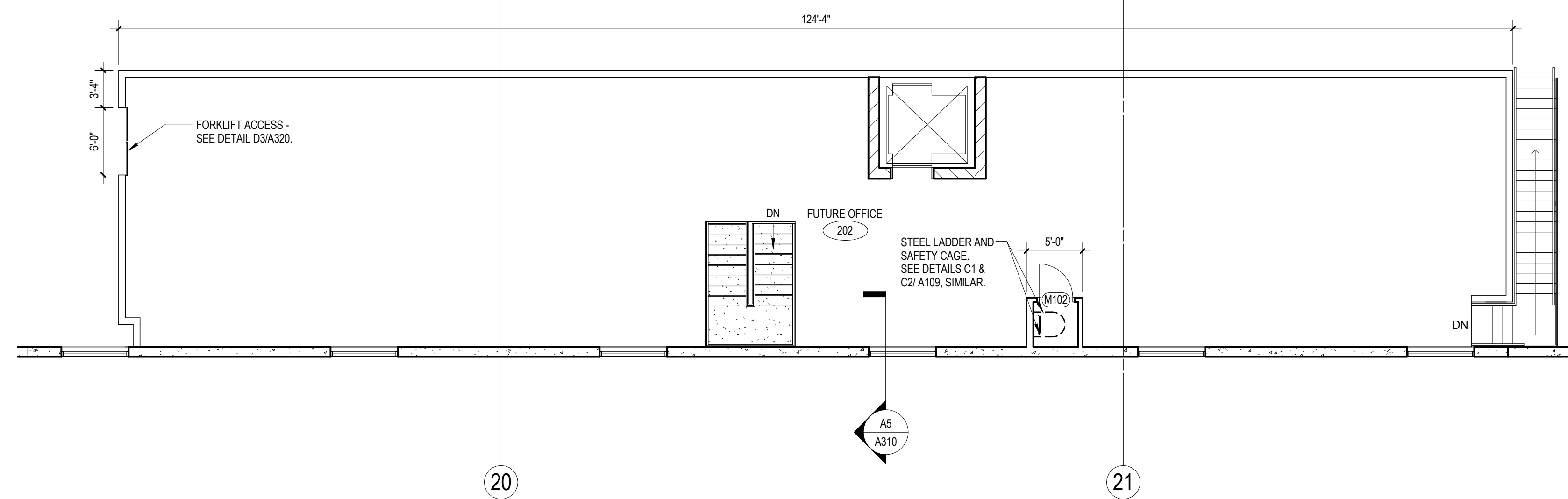
**WAREHOUSE -
 CAFETERIA
 NORTHWEST**

A401

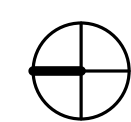
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B3 PARTIAL FLOOR PLAN - WAREHOUSE OFFICE - WEST
1/8" = 1'-0"



A3 MEZZANINE PLAN - WAREHOUSE OFFICE - WEST
1/8" = 1'-0"

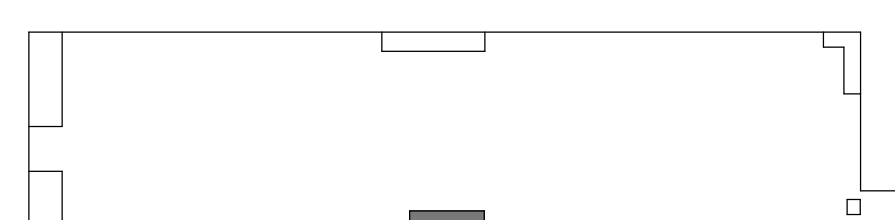


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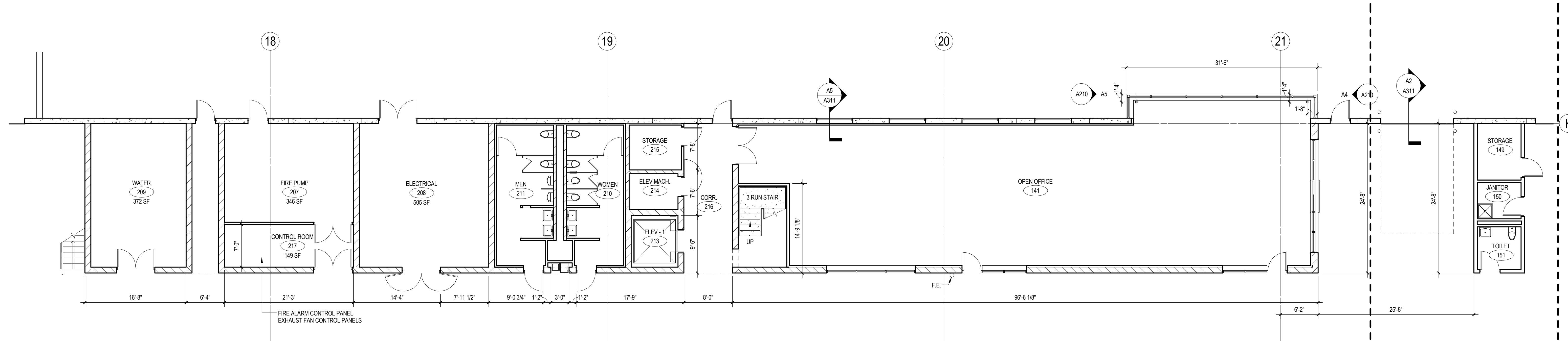


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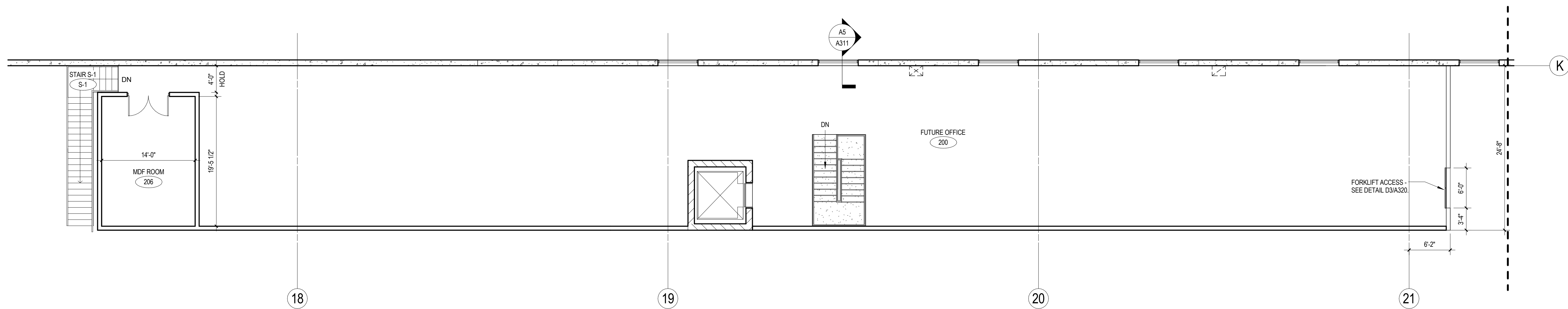
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PROJECT NUMBER:	213394-01	OFFICE - WEST
PROJECT MANAGER:	PEK	

A402

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B6 PARTIAL FLOOR PLAN - WAREHOUSE OFFICE - EAST
1/8" = 1'-0"



A6 MEZZANINE PLAN - WAREHOUSE OFFICE - EAST
1/8" = 1'-0"

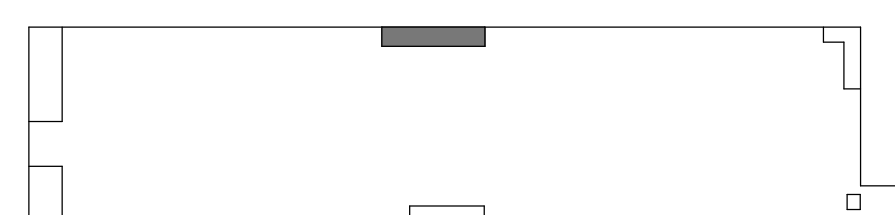


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KEY PLAN



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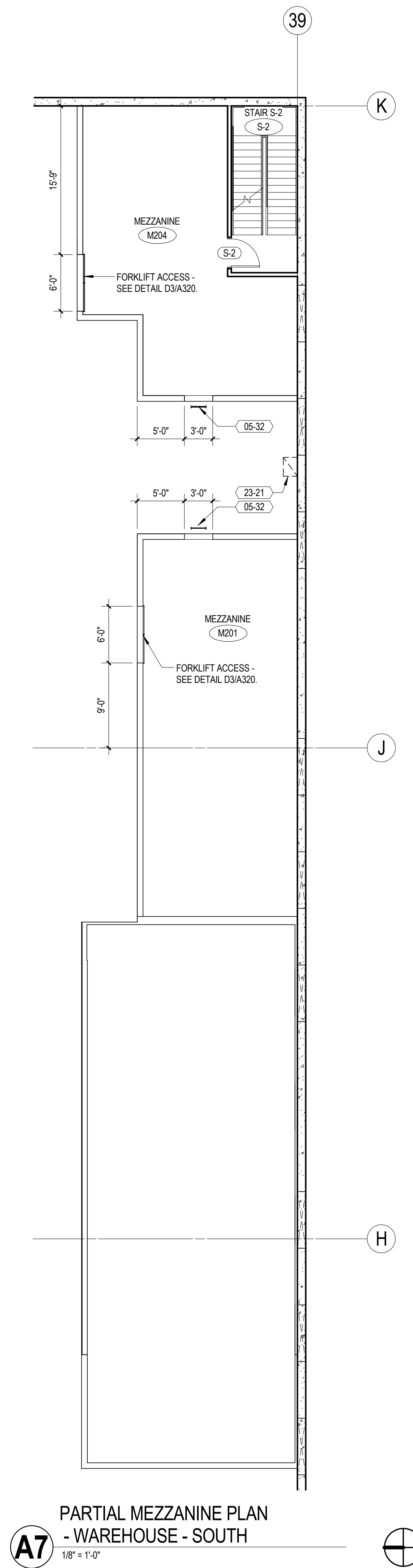
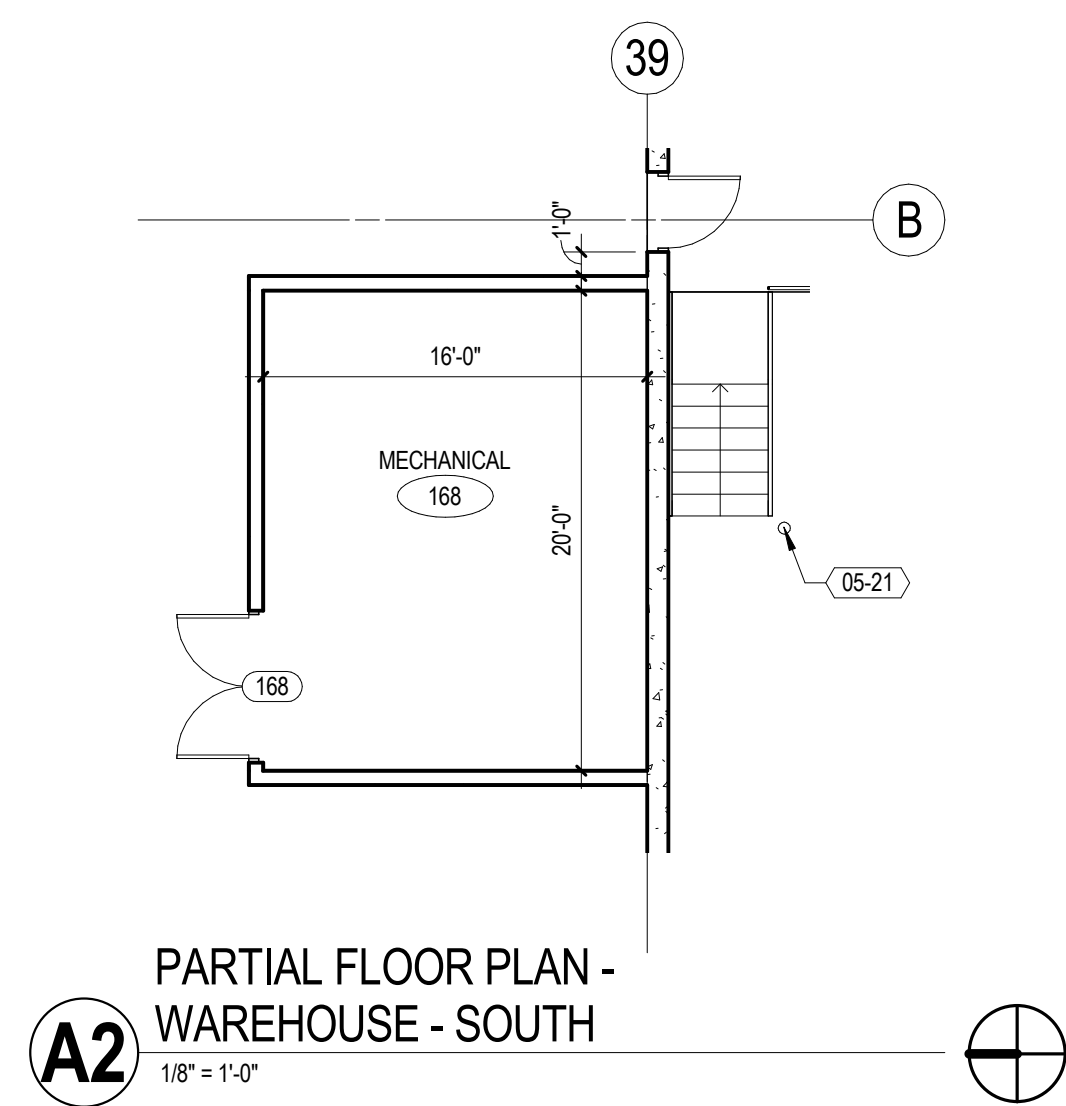
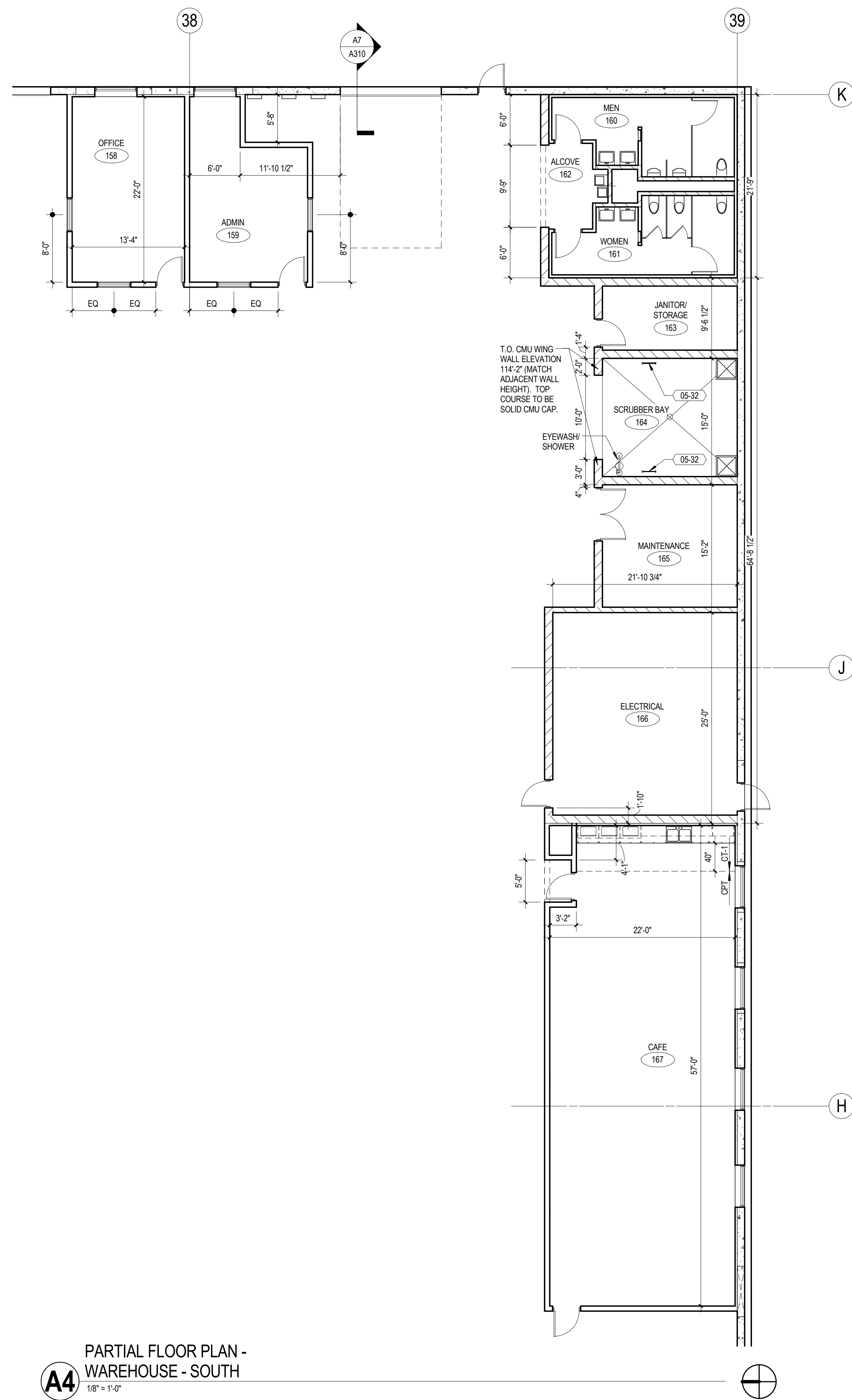
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Pleasant Prairie, WI 53158



SHEET INFORMATION

DATE: 07/11/2014 WAREHOUSE
PROJECT NUMBER: 213394-01 OFFICE - EAST
PROJECT MANAGER: PEK

A403



A2 PARTIAL FLOOR PLAN - WAREHOUSE - SOUTH
1/8" = 1'-0"

A4 PARTIAL FLOOR PLAN - WAREHOUSE - SOUTH
1/8" = 1'-0"

A7 PARTIAL MEZZANINE PLAN - WAREHOUSE - SOUTH
1/8" = 1'-0"

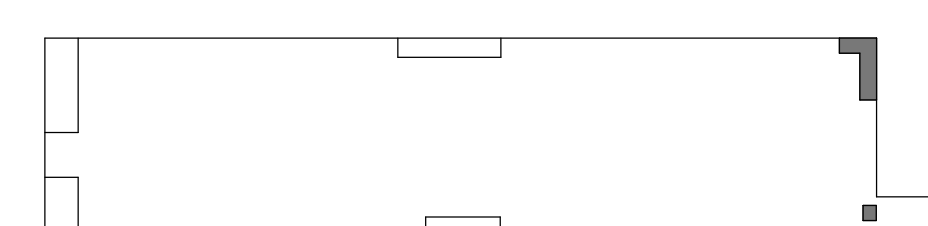


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KEY PLAN



ISSUANCE AND REVISIONS

FINAL SITE AND OPERATIONAL PLAN SUBMITTAL

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PROJECT MANAGER:	PEK	

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FOR REVIEW EXISTING CONDITIONS

NOTES

- PROJECT CONVERSION FACTOR: GRID/1.000045 = GROUND
- ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.
- ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.
- VERTICAL DATUM: NGVD 1929 DATUM.

EXISTING CONDITIONS SURVEY

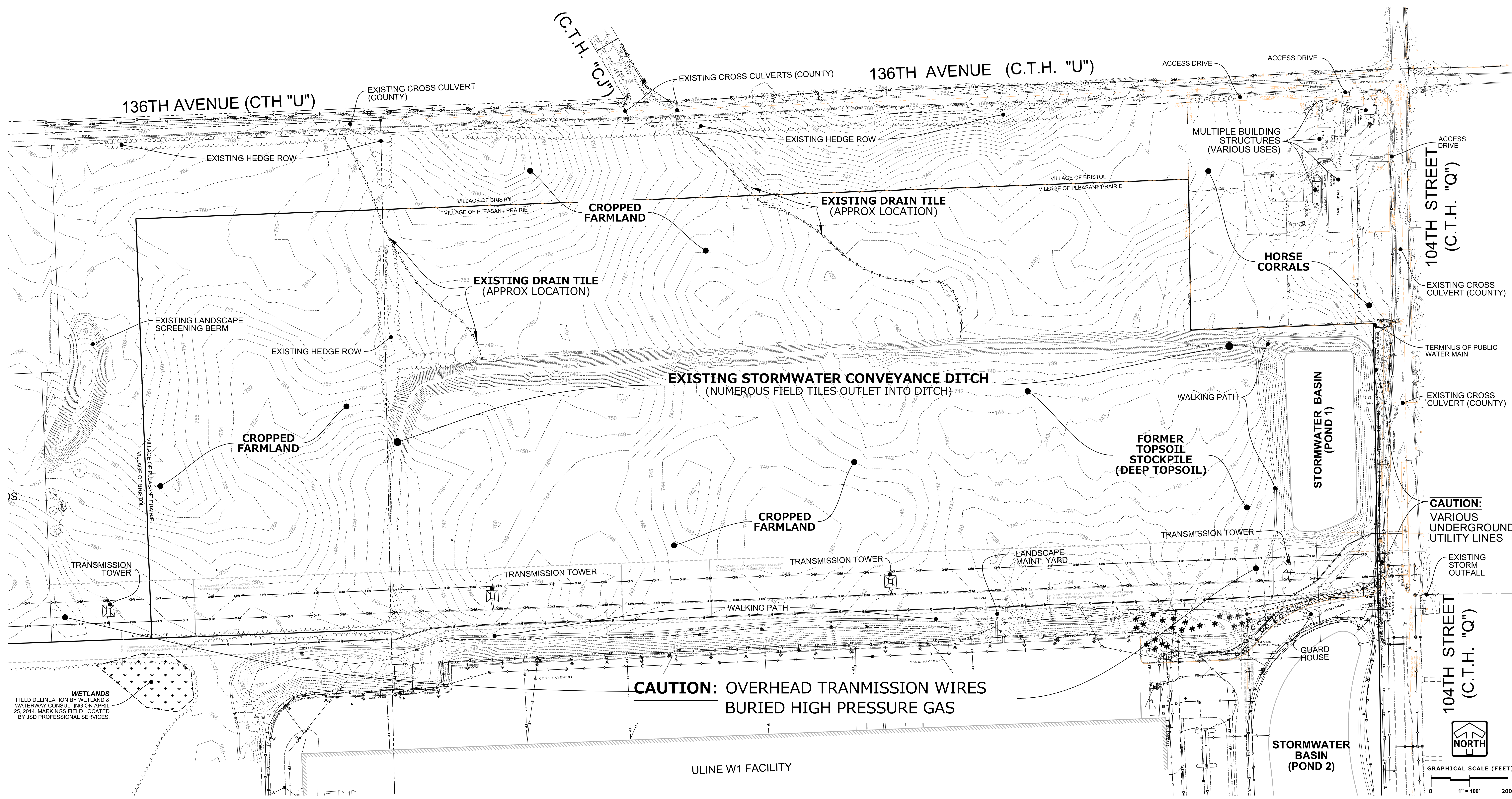
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CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

LEGEND

SANITARY MANHOLE	⊗	LIGHTING	⚡
STORM MANHOLE	⊙	ELECTRICAL CABLE	—
CATCH BASIN	⊠	ELECTRICAL TRANSFORMER OR PEDESTAL	⊠
INLET	□	POWER POLE	⊕
PRECAST FLARED END SECTION	△	POWER POLE WITH LIGHT	⊕*
CONCRETE HEADWALL	∩	GUY WIRE	—
VALVE VAULT	⊕	STREET SIGN	⊕
VALVE BOX	⊙	GAS MAIN	—
FIRE HYDRANT	⊙	TELEPHONE LINE	—
BUFFALO BOX	⊙	CONTOUR	749
CLEANOUT	⊕	OVERFLOW RELIEF ROUTING	—
SANITARY SEWER	—	TREE WITH TRUNK SIZE	⊗
FORCE MAIN	—	CONCRETE SIDEWALK	—
STORM SEWER	—	EASEMENT LINE	—
WATER MAIN	—		

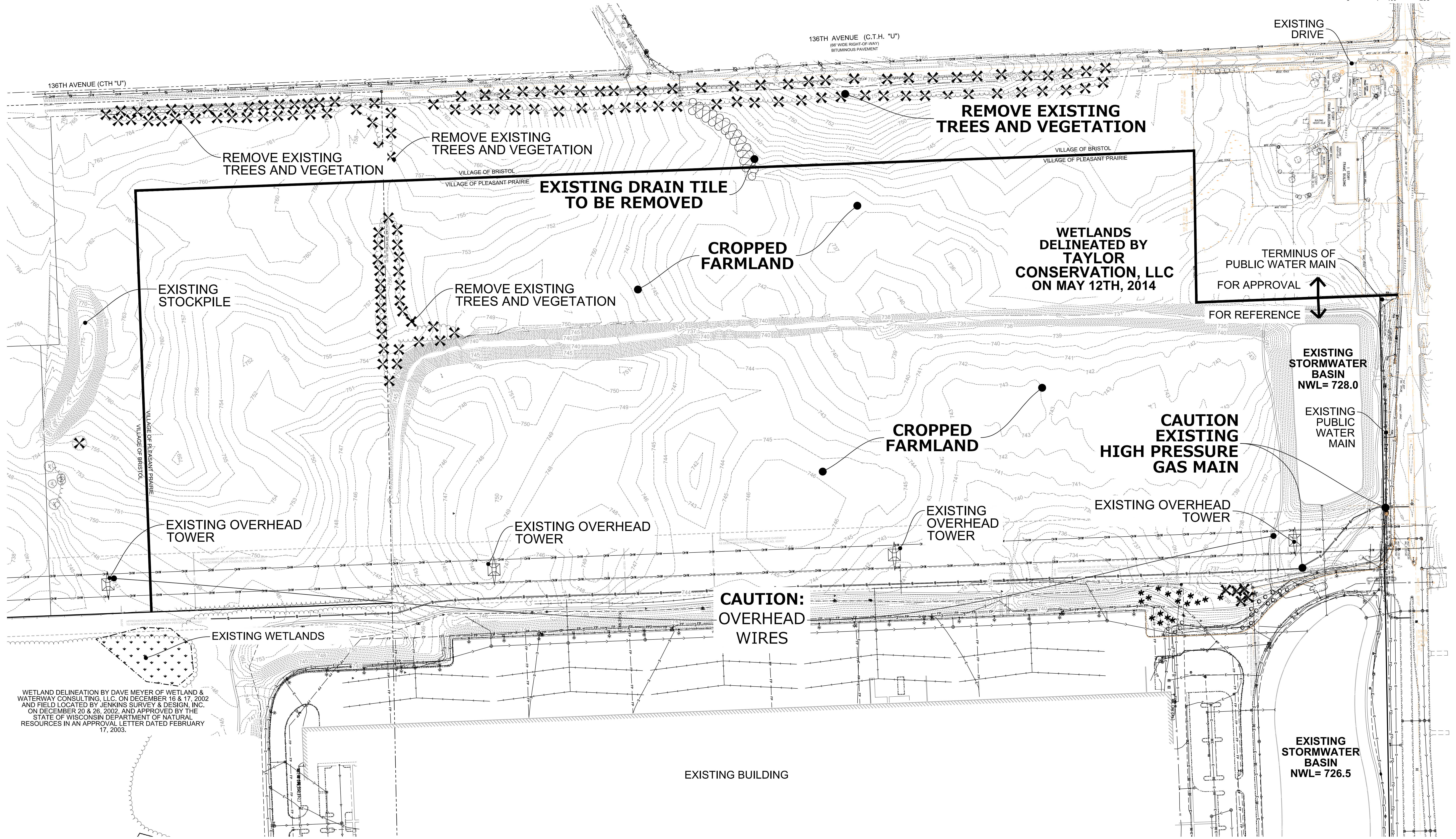
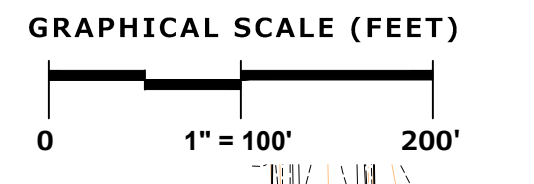
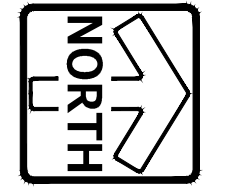


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- NOTES**
- PERIMETER SILT FENCING AND CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION. PLEASE REFER TO GRADING AND EROSION AND SEDIMENT CONTROL PLAN SHEETS FOR FURTHER DETAILS.
 - EXISTING FEATURES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY DEMOLITION.
 - CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AND THE MUNICIPALITY TO PROTECT EXISTING FUNCTIONING UTILITIES. BUSHHEAD/REMOVE CONNECTIONS AS NECESSARY, AND TO ENSURE ALL UTILITIES ARE INACTIVE PRIOR TO ANY DEMOLITION ACTIVITIES. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO ENSURE PROTECTION OF EXISTING UTILITIES THAT ARE NOT TO BE IMPACTED. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY EXISTING UTILITIES DAMAGED AS A RESULT OF THE DEMOLITION.
 - VOIDS LEFT BY REMOVAL OF FEATURES SHALL BE MODIFIED/FILLED TO PREVENT PONDING OF WATER.
 - DEMOLISH AND DISPOSE EXISTING PIPING, CABLE/WIRES, STRUCTURES, OR OTHER SURFACE FEATURES INDICATED ON THE PLANS TO BE REMOVED.
 - CLEARING AND GRUBBING DESIGNATIONS SHALL INCLUDE CLEARING, GRUBBING, REMOVING, AND DISPOSING OF ALL VEGETATION AND DEBRIS WITHIN THE LIMITS OF CONSTRUCTION, AS DESIGNATED ON THE PLANS. CONTRACTOR SHALL REMOVE ONLY THOSE TREES ABSOLUTELY NECESSARY TO ALLOW FOR CONSTRUCTION.
 - CONTRACTOR SHALL REMOVE EXISTING FENCING IN A MANNER TO ALLOW REUSE. ANY FENCING MATERIAL TO BE REUSED IN THE CONSTRUCTION OF RELOCATED FENCE LINES SHALL BE PRESENTED TO ENGINEER FOR INSPECTION AND PROPOSED CONTRACT DEDUCT ASSOCIATED WITH REUSE OF THE SALVAGED MATERIAL. ENGINEER OR OWNER WILL PROVIDE WRITTEN ACCEPTANCE OF THE PROPOSED SALVAGED MATERIAL.
 - CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY FOR TERMINATION OF PUBLIC UTILITY CONNECTIONS TO SITE.
 - CONTRACTOR SHALL COORDINATE STOCKPILE LIMITS AND LOCATIONS WITH ENGINEER/OWNER PRIOR TO DEMOLITION.

LEGEND

- REMOVE TREE & ROOT STRUCTURE
- REMOVE FENCELINE
- REMOVE GRAVEL, CONCRETE OR ASPHALT SURFACE
- REMOVE POLE



WETLAND DELINEATION BY DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC, ON DECEMBER 16 & 17, 2002 AND FIELD LOCATED BY JENKINS SURVEY & DESIGN, INC. ON DECEMBER 20 & 26, 2002, AND APPROVED BY THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN AN APPROVAL LETTER DATED FEBRUARY 17, 2003.

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 CHECKED: PSM
 REVIEWED: ABA
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 DEMOLITION PLAN

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ULINE CORPORATE CAMPUS
 PLEASANT PRAIRIE, WI
DEMOLITION PLAN

REVISIONS

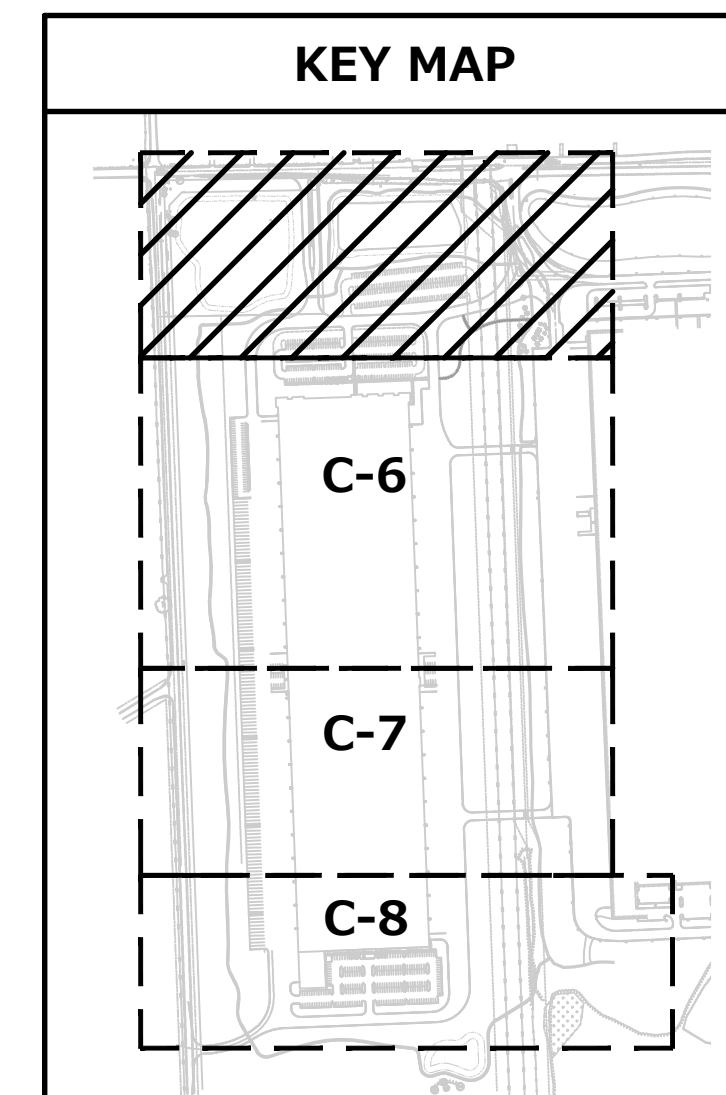
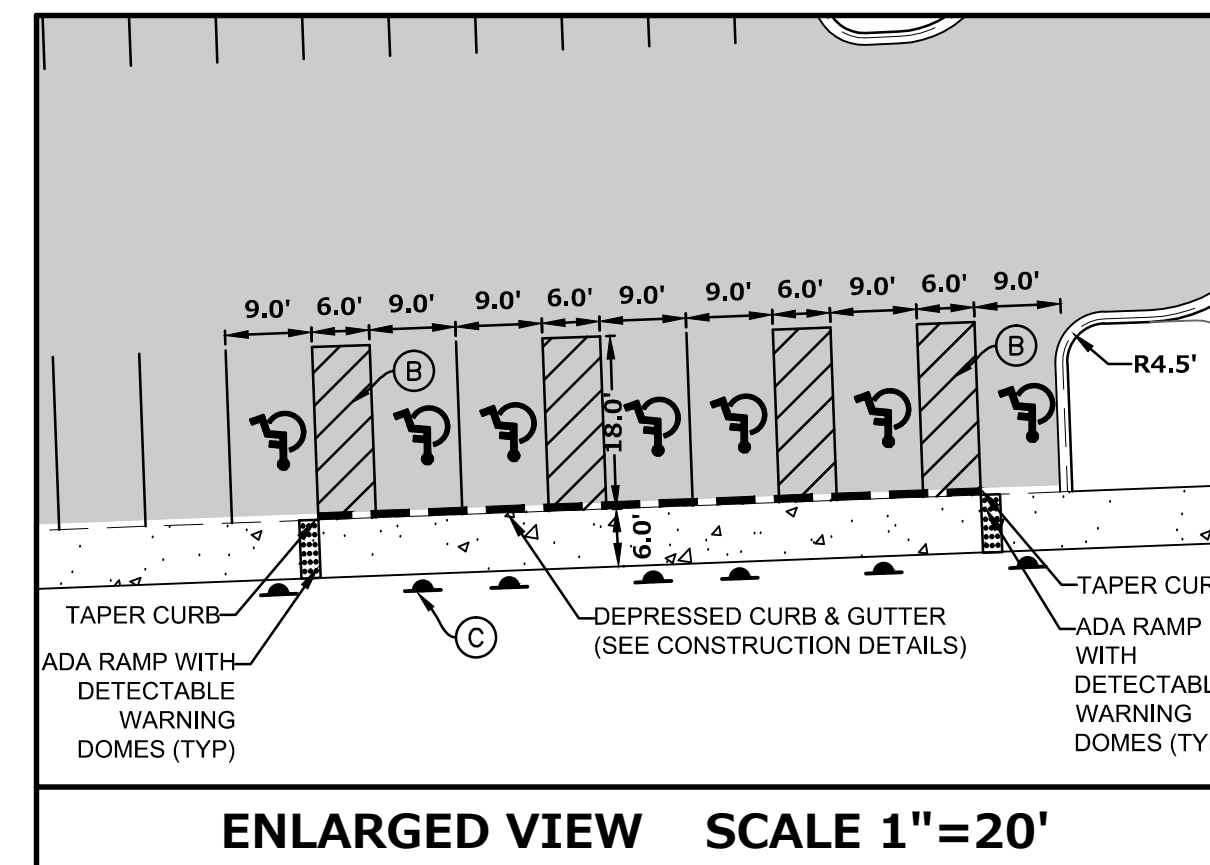
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REG. OR. NO. 119.00-WI	AREA
DATE 07-11-14	SCALE
SHEET	C-3
OF	8
PROJECT	C-28

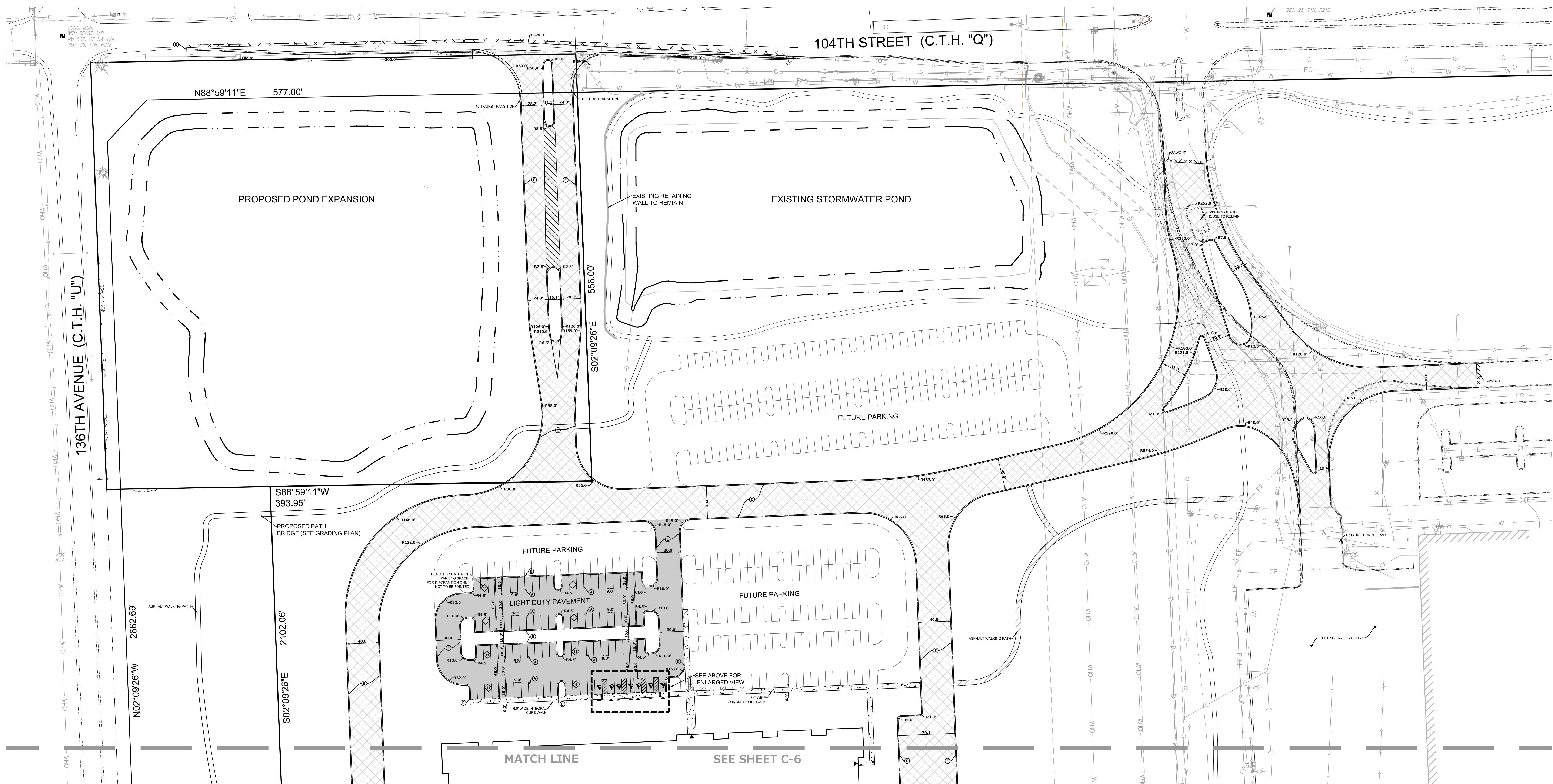
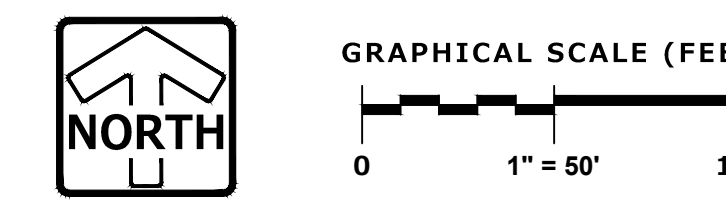
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 OF
 8
PROJECT
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LEGEND	
	ASPHALT PATH
	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 3" ASPHALTIC CONG. (2 LPTS) - LOWER LAYER (0-1 MIX; 19.0 mm NOMINAL SIZE) - UPPER LAYER (0-1 MIX; 9.5 mm NOMINAL SIZE)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 4" ASPHALTIC CONG. (2 LPTS) - LOWER LAYER (0-3 MIX; 19.0 mm NOMINAL SIZE) - UPPER LAYER (0-3 MIX; 12.5 mm NOMINAL SIZE)
	CONCRETE PAVEMENT (TRUCK DOCK AREA) - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 8" PCC (CONSULT OWNER FOR REINFORCEMENT & MIX DESIGN)
	CONCRETE SIDEWALK - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE) - 4" PCC
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	R7-B HANDICAP PARKING SIGN (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	15" CURB & GUTTER (SEE DETAIL)
	PARKING COUNT - NOT TO BE PAINTED
	HAN DOOR



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 BROOKFIELD, WI 53005
 (262) 754-8888
 CHICAGO | MILWAUKEE | RACINE/WISCONSIN

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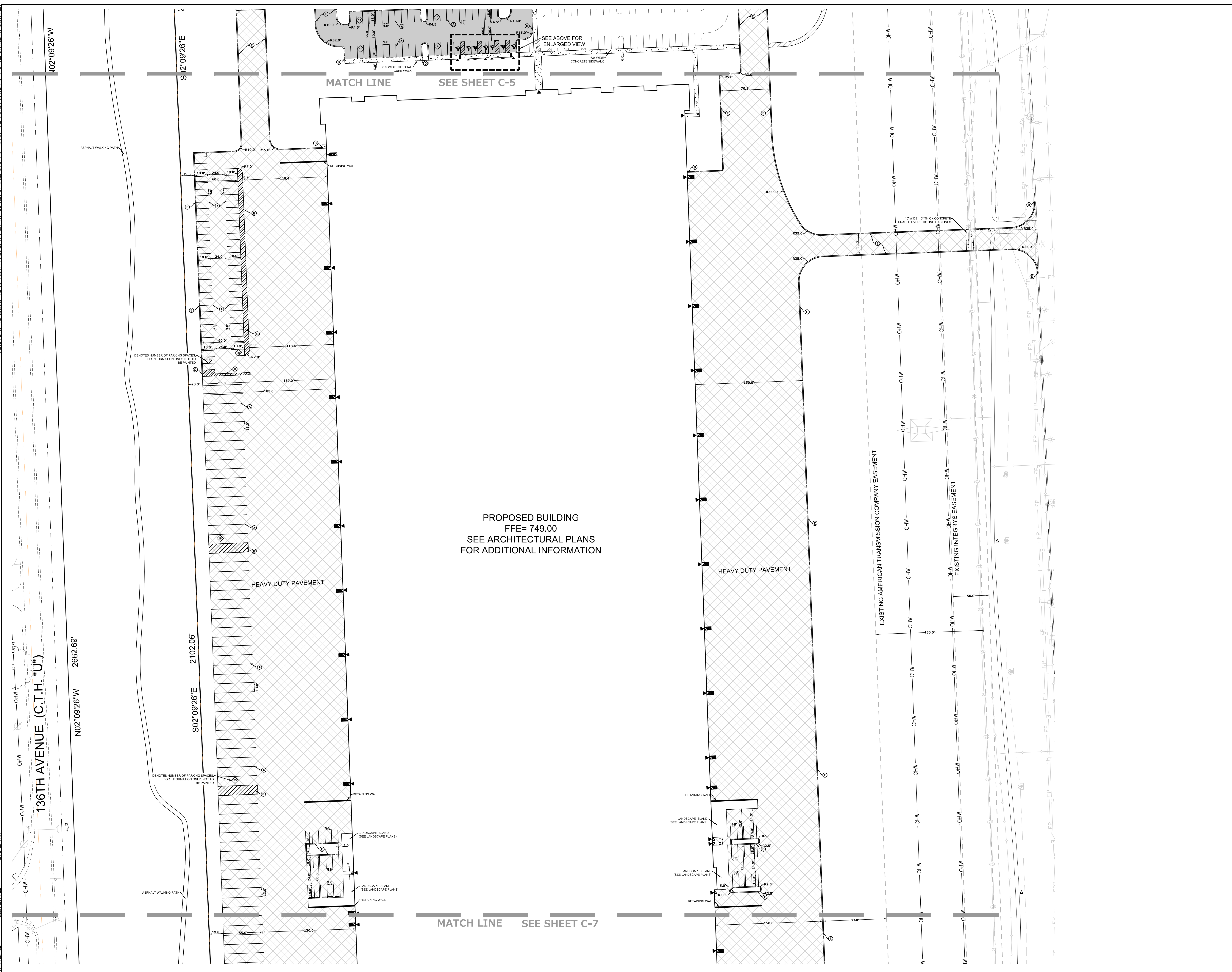
SITE DIMENSIONAL AND PAVING PLAN

REVISIONS	

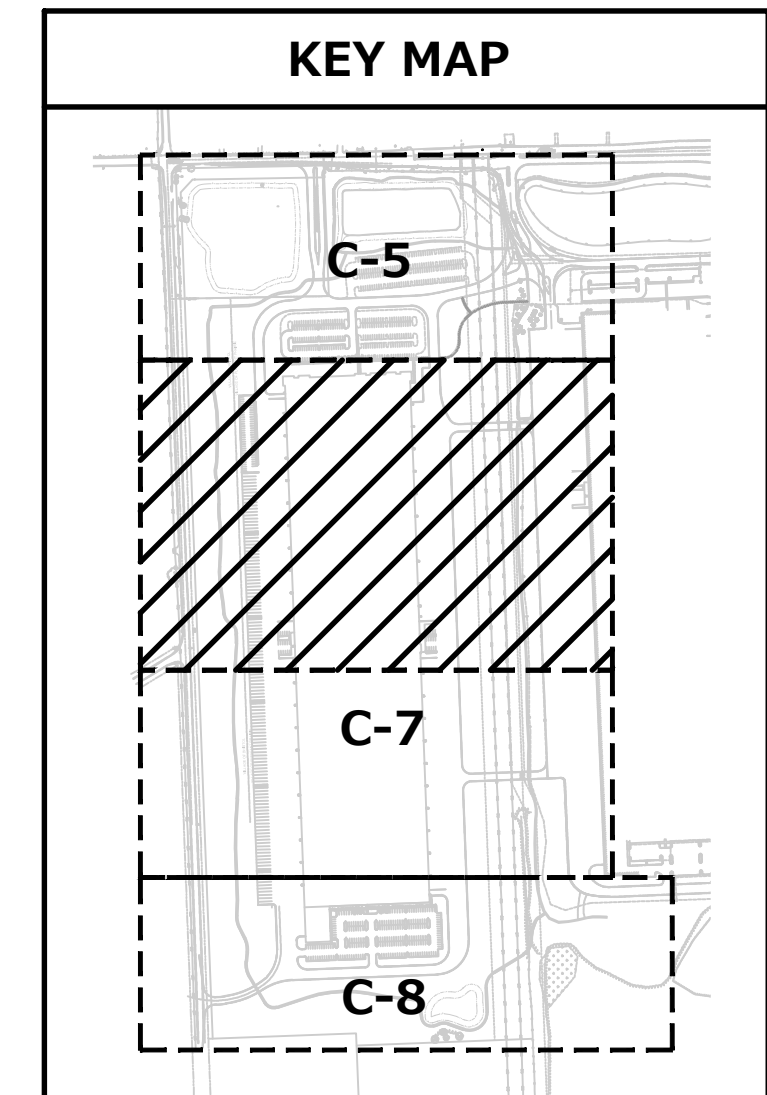
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 START DATE 07-11-16
 SCALE
SHEET C-5
8
C-28

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 SITE DIMENSIONAL AND PAVING PLAN

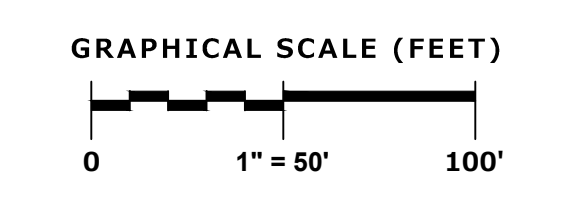
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LEGEND	
	ASPHALT PATH
	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) - 3" ASPHALTIC CONC. (2 LPTS) LOWER LAYER (0-1 MIX; 19.0 mm NOMINAL SIZE) UPPER LAYER (0-1 MIX; 9.5 mm NOMINAL SIZE)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) - 4" ASPHALTIC CONC. (2 LPTS) LOWER LAYER (0-3 MIX; 19.0 mm NOMINAL SIZE) UPPER LAYER (0-3 MIX; 12.5 mm NOMINAL SIZE)
	CONCRETE PAVEMENT (TRUCK DOCK AREA) - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) - 8" PCC (CONSULT OWNER FOR REINFORCEMENT & MIX DESIGN)
	CONCRETE SIDEWALK - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) - 4" PCC
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2" O.C.
	R7-8 HANDICAP PARKING SIGN (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	15" CURB & GUTTER (SEE DETAIL)
	PARKING COUNT - NOT TO BE PAINTED
	MAN DOOR



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SITE DIMENSIONAL AND PAVING PLAN

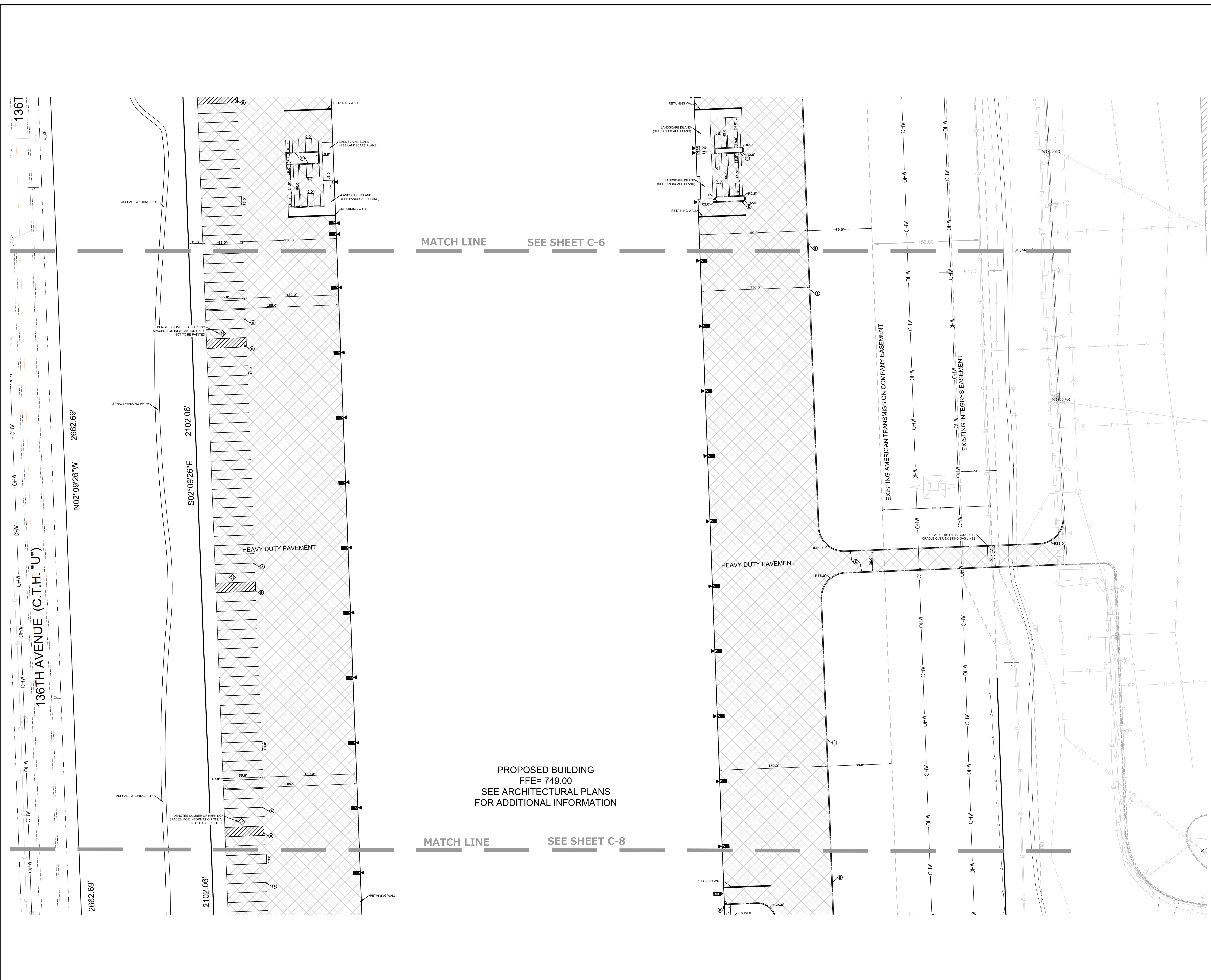
REVISIONS	

REG. OR. NO. 119.00-WT REG. OR. AREA START DATE 07-11-14 SCALE	SHEET C-6 OF C-28
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FOR REVIEW www.pinnacle-engr.com SITE DIMENSIONAL AND PAVING PLAN

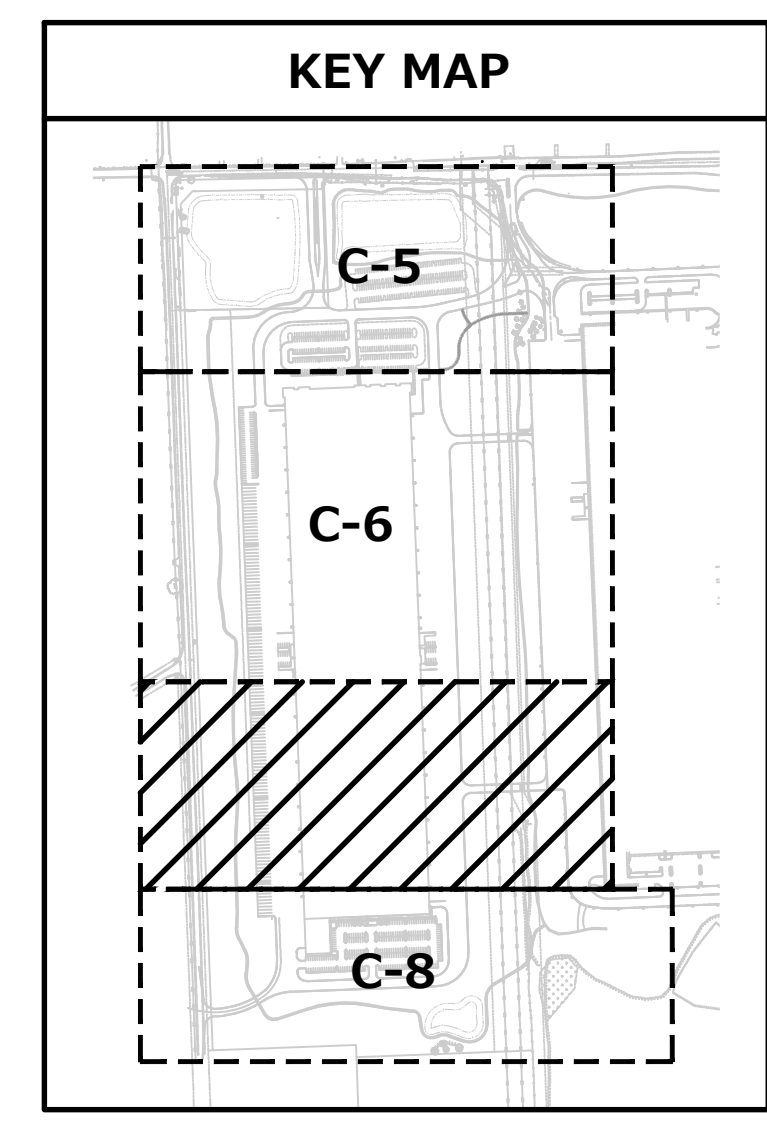
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CHECKED: BSM
DATE: 07-11-14
PROJECT: 119-00-WT
SHEET: C-7
SCALE: AS SHOWN

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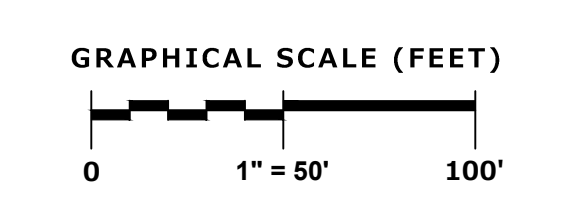


LEGEND

- ASPHALT PATH
- LIGHT DUTY PAVEMENT
 - 8" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 3" ASPHALTIC CONC. (2 LPTS)
 LOWER LAYER (0-1 MIX; 19.0 mm NOMINAL SIZE)
 UPPER LAYER (0-1 MIX; 9.5 mm NOMINAL SIZE)
- HEAVY DUTY PAVEMENT
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 4" ASPHALTIC CONC. (2 LPTS)
 LOWER LAYER (0-3 TYPE; 19.0 mm NOMINAL SIZE)
 UPPER LAYER (0-3 TYPE; 12.5 mm NOMINAL SIZE)
- CONCRETE PAVEMENT (TRUCK DOCK AREA)
 - 10" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 8" PCC (CONSULT OWNER FOR REINFORCEMENT & MIX DESIGN)
- CONCRETE SIDEWALK
 - 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)
 - 4" PCC
- 4" SOLID WHITE STRIPE
- 4" DIAGONAL AT 45° SPACED 2' O.C.
- R7-B HANDICAP PARKING SIGN (SEE DETAIL)
- TAPER CURB HEAD (SEE DETAIL)
- 15" CURB & GUTTER (SEE DETAIL)
- PARKING COUNT - NOT TO BE PAINTED
- MAN DOOR



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MATCH LINE SEE SHEET C-6

MATCH LINE SEE SHEET C-8

PROPOSED BUILDING
FFE= 749.00
SEE ARCHITECTURAL PLANS
FOR ADDITIONAL INFORMATION

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ULINE CORPORATE CAMPUS PLEASANT PRAIRIE, WI

SITE DIMENSIONAL AND PAVING PLAN

REVISIONS	
NO.	DESCRIPTION

FOR REVIEW

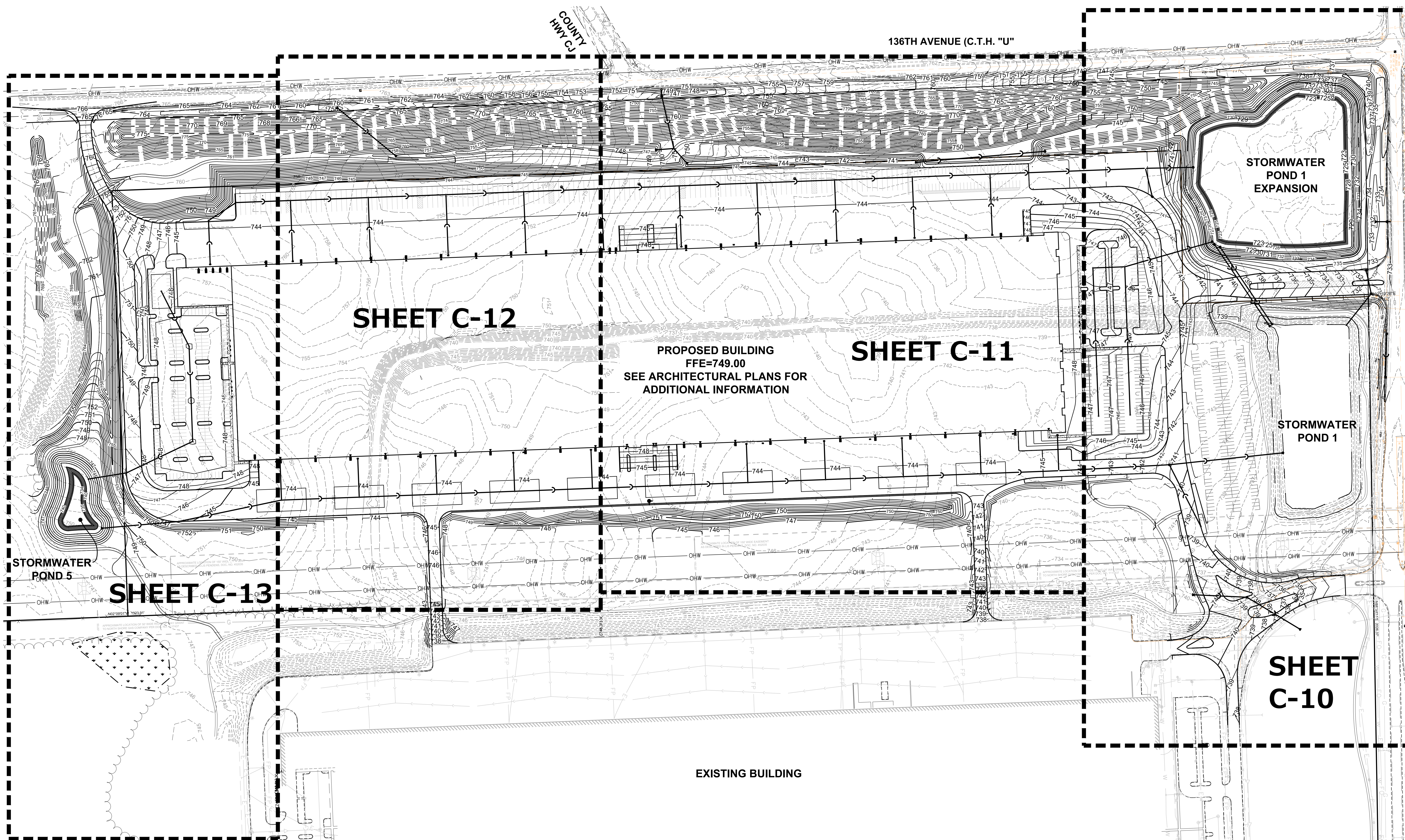
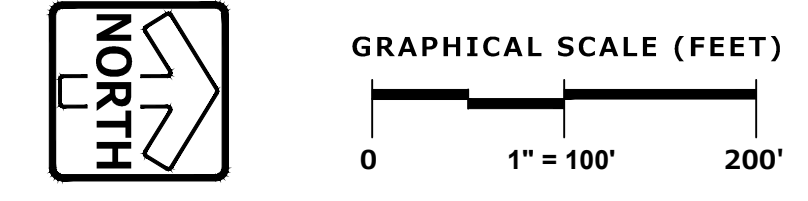
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NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PER ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED "UNSATURABLE" SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TUMPOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY INCLUDING: LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL KENOSHA COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
- LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
- TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
- SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY CHAPUT LAND SURVEY, INC. IN NO WAY DOES PER WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

LEGEND

- | | | | |
|-----|----------------------------------|----|-----------------------------|
| ○ | SANITARY SEWER MANHOLE | → | OVERFLOW RELIEF ROUTING |
| ● | STORM SEWER MANHOLE | — | CONCRETE SIDEWALK |
| ○ | CATCH BASIN- ROUND CASTING | — | CURB AND GUTTER |
| ○ | CATCH BASIN- RECTANGULAR CASTING | — | DEPRESSED CURB |
| □ | CLEANOUT | — | REVERSE PITCH CURB & GUTTER |
| — | CONTOUR | — | EDGE OF PAVEMENT |
| 749 | SPOT ELEVATION | EP | FINISHED FLOOR |
| → | DIRECTION OF SURFACE FLOW | SW | SIDEWALK |
| — | DITCH OR SWALE | YG | YARD GRADE |
| — | DIVERSION SWALE | | |
| — | FLOODPLAIN | | |



SHEET C-12

SHEET C-11

SHEET C-13

SHEET C-10

EXISTING BUILDING

**ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI**

GRADING PLAN

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REVISIONS	

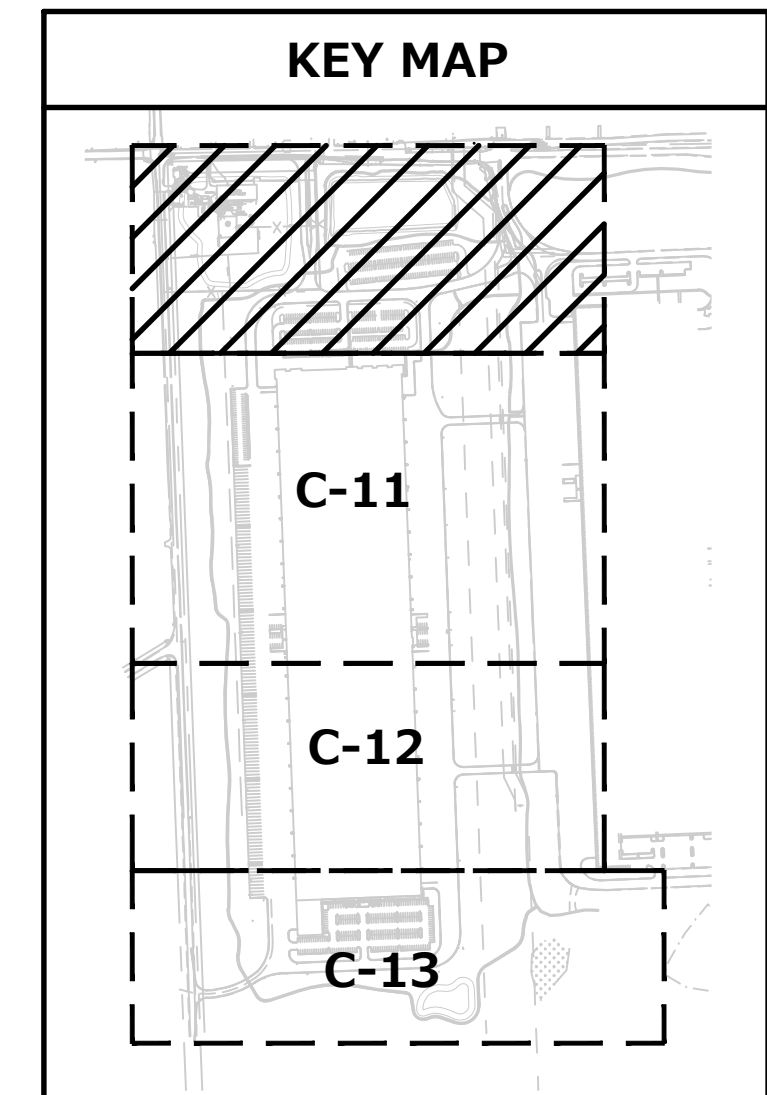
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SCALE	
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DESIGNED: PMA
CHECKED: PMA
DATE: 07-11-14

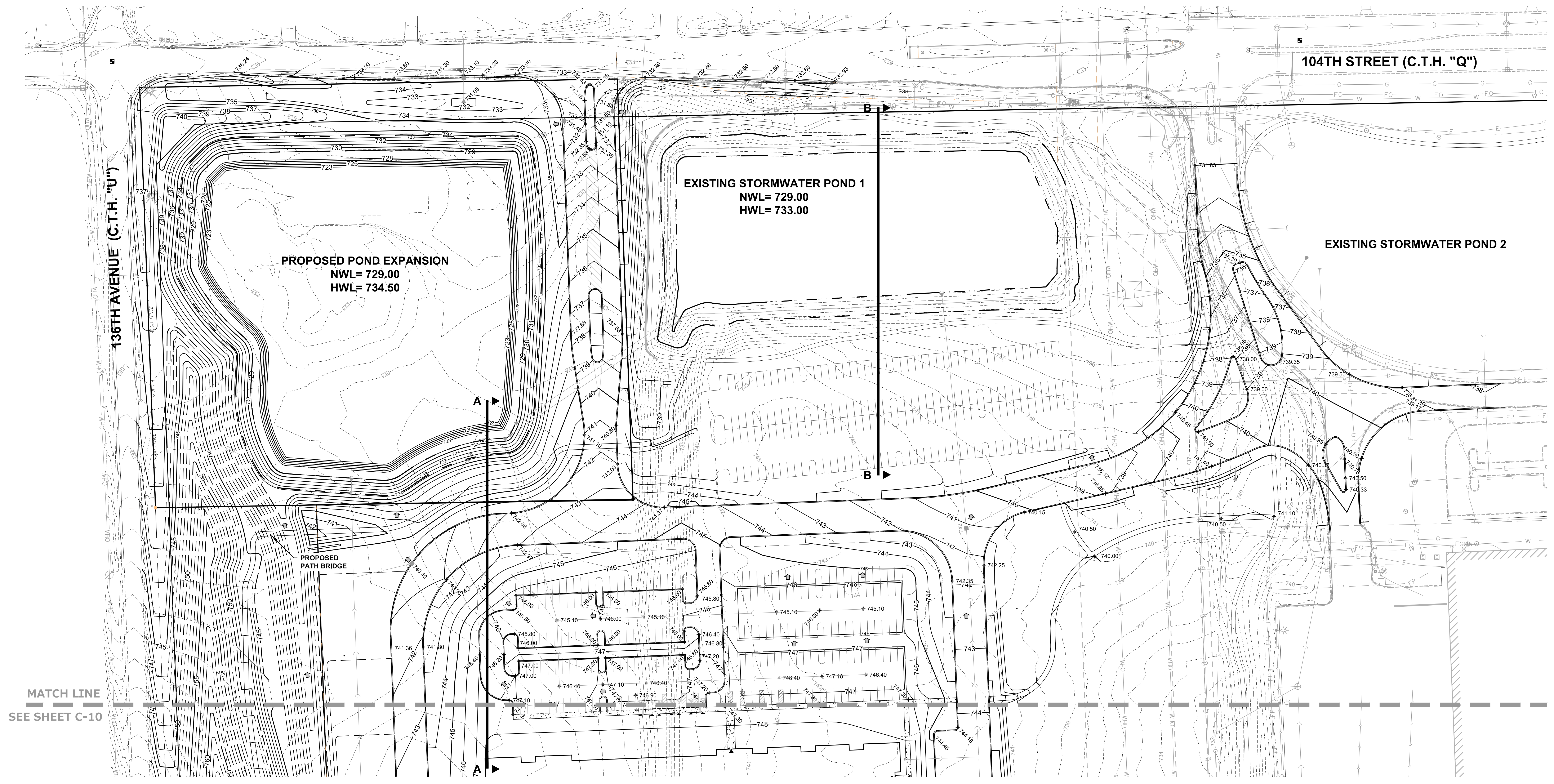
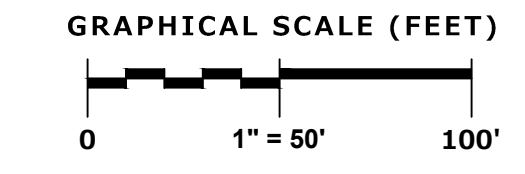
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	STORM SEWER MANHOLE		CONCRETE SIDEWALK
	CATCH BASIN- ROUND CASTING		CURB AND GUTTER
	CATCH BASIN- RECTANGULAR CASTING		DEPRESSED CURB
	CLEANOUT		REVERSE PITCH CURB & GUTTER
	CONTOUR		EDGE OF PAVEMENT
	SPOT ELEVATION		FINISHED FLOOR
	DIRECTION OF SURFACE FLOW		SIDEWALK
	DITCH OR SWALE		YARD GRADE
	DIVERSION SWALE		
	FLOODPLAIN		



MATCH LINE
 SEE SHEET C-10

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ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI

GRADING PLAN

REVISIONS	

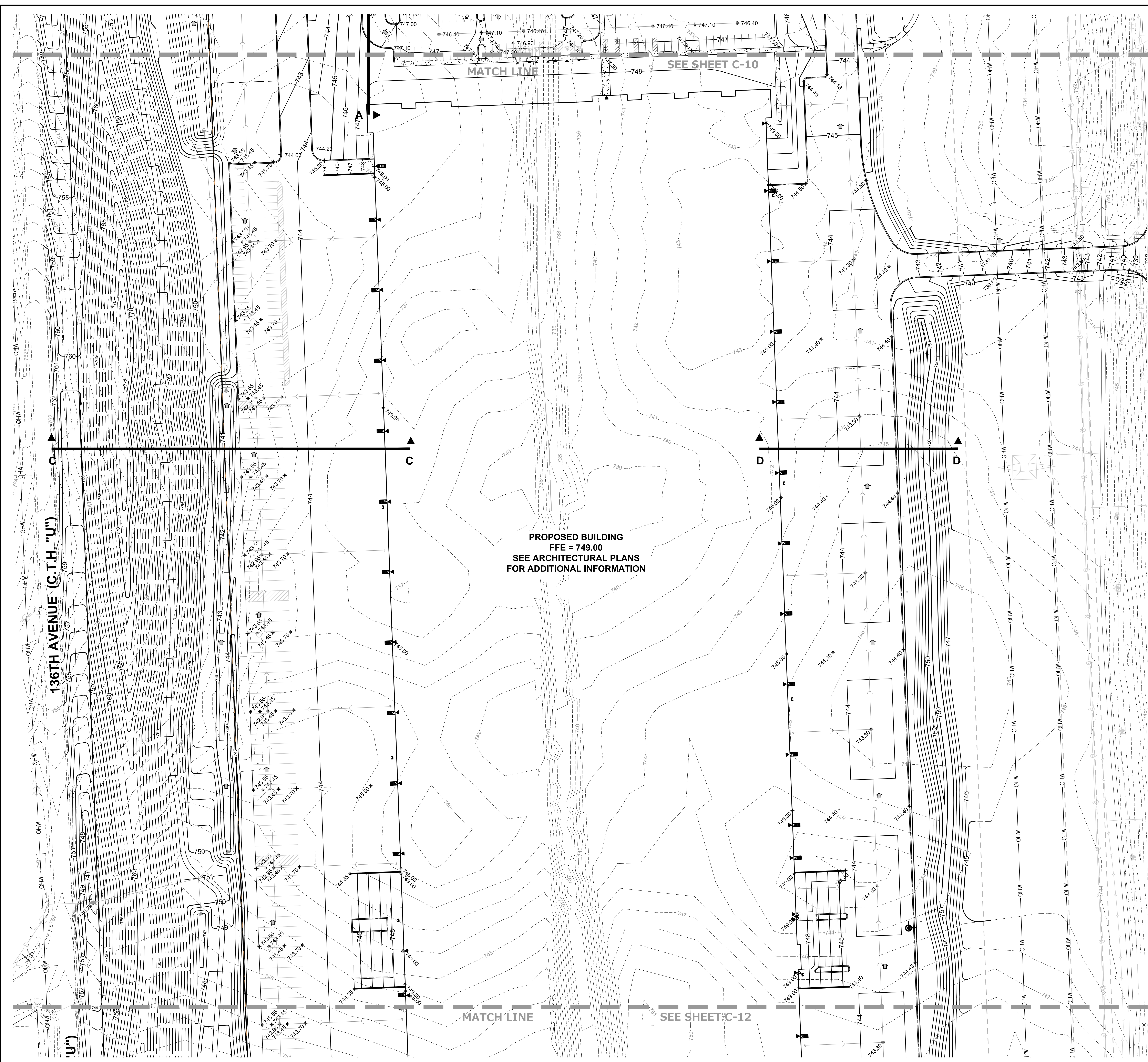
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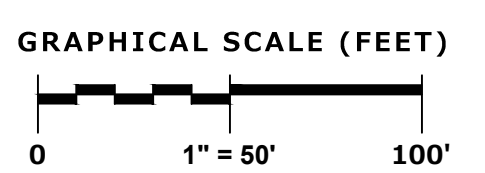
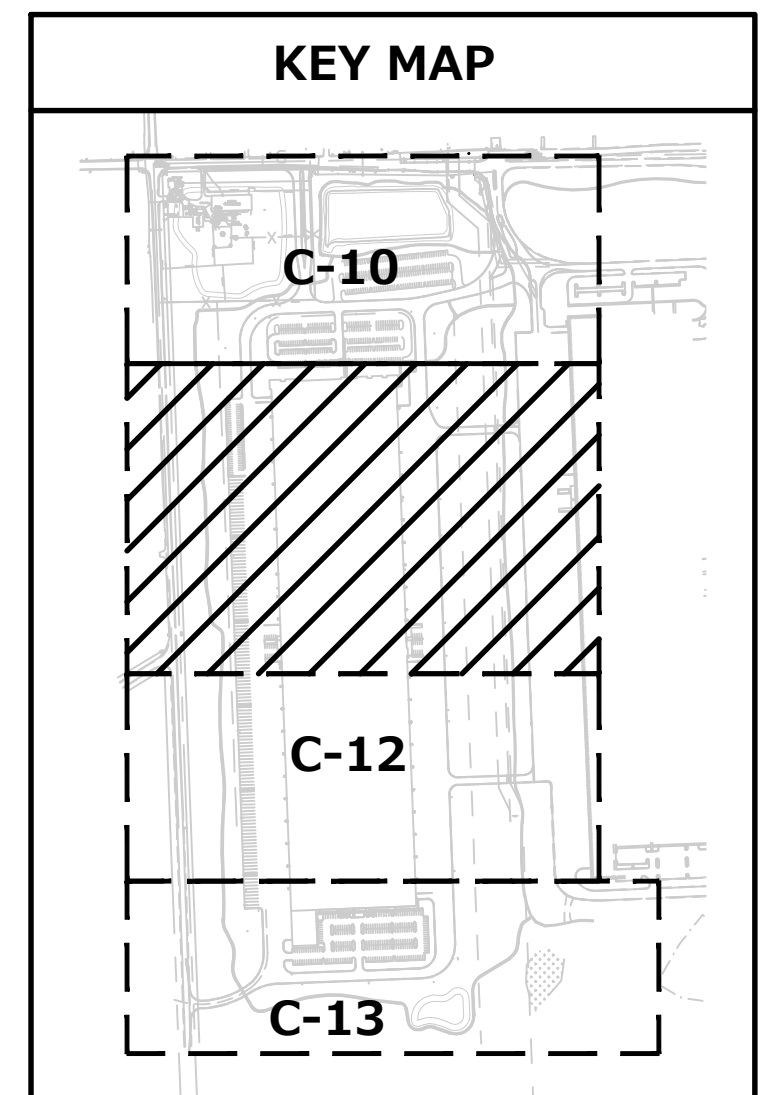
FOR REVIEW

GRADING PLAN

DESIGNED: JMA REVIEWED: PM GRADATED: RJP



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	CATCH BASIN- ROUND CASTING
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	SW
	YG



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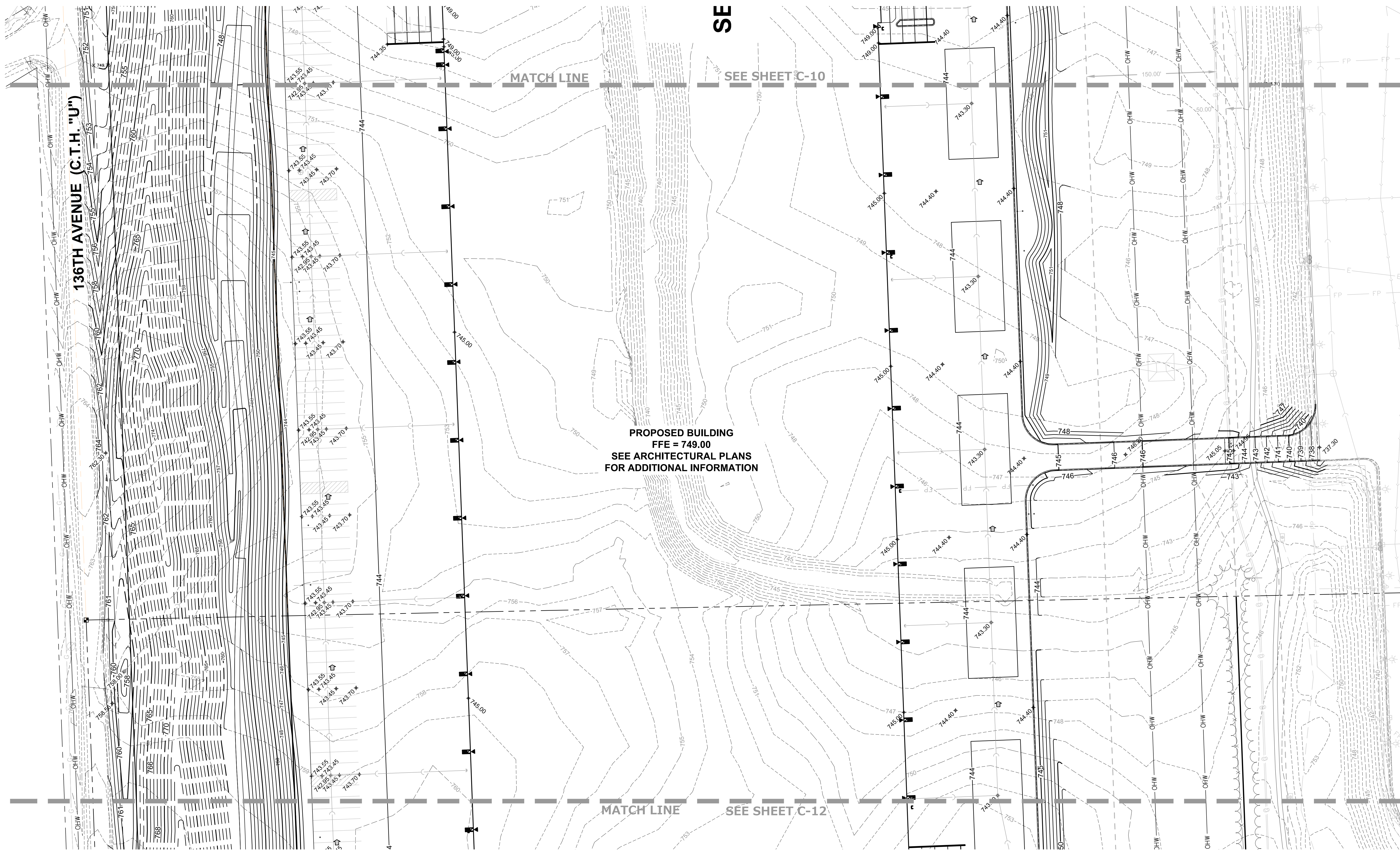
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GRADING PLAN

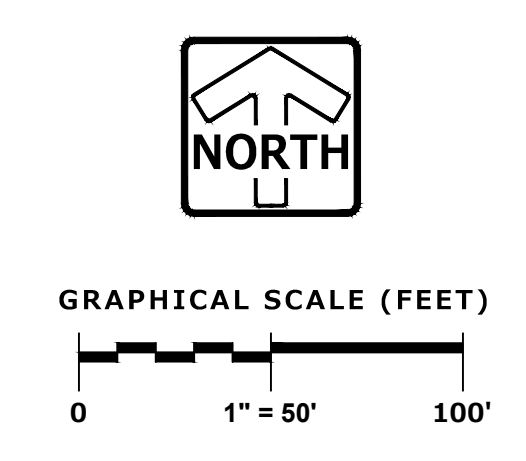
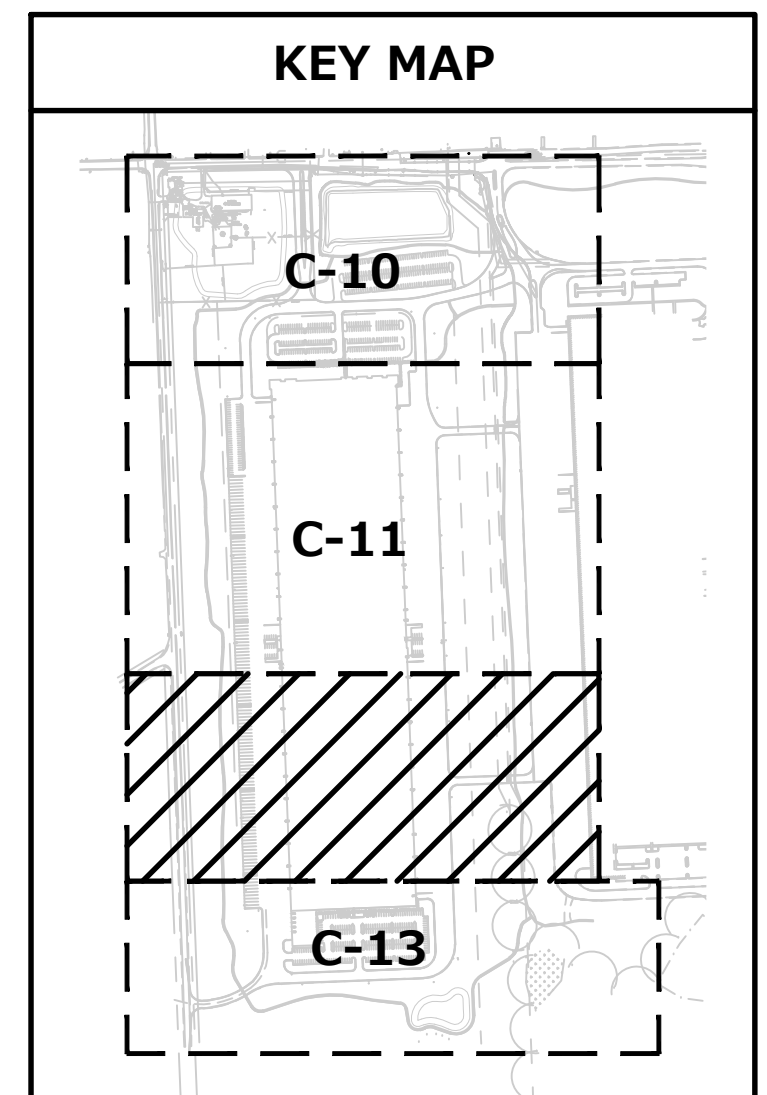
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START DATE 07-11-24	SCALE
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LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	CATCH BASIN- ROUND CASTING
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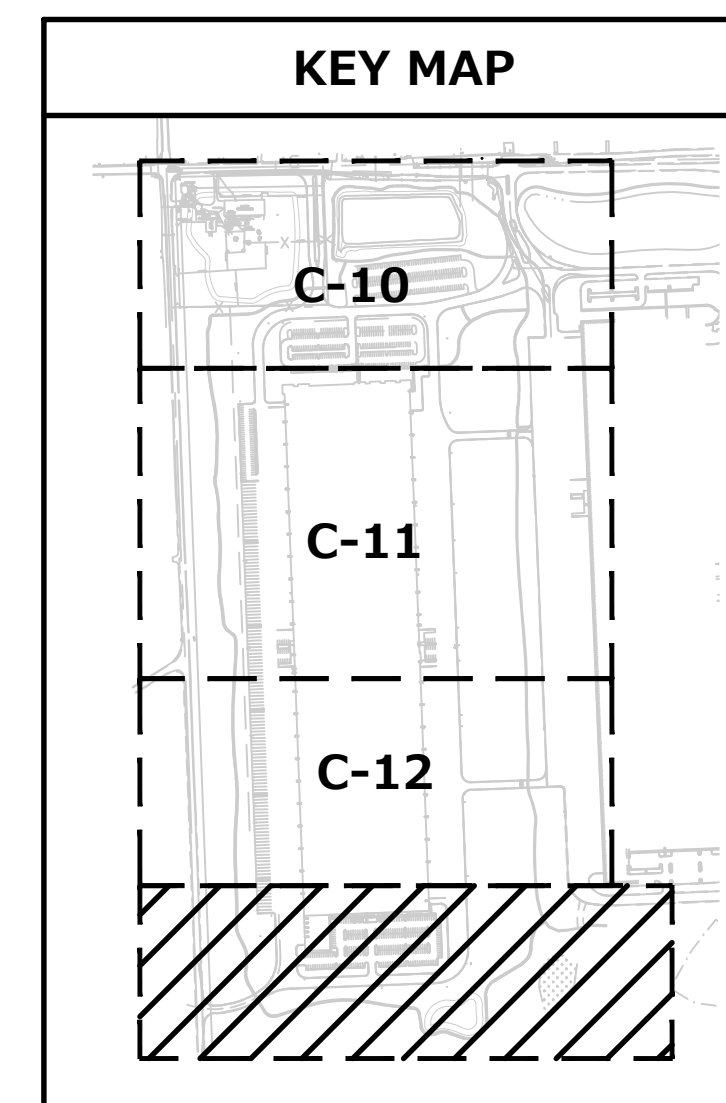
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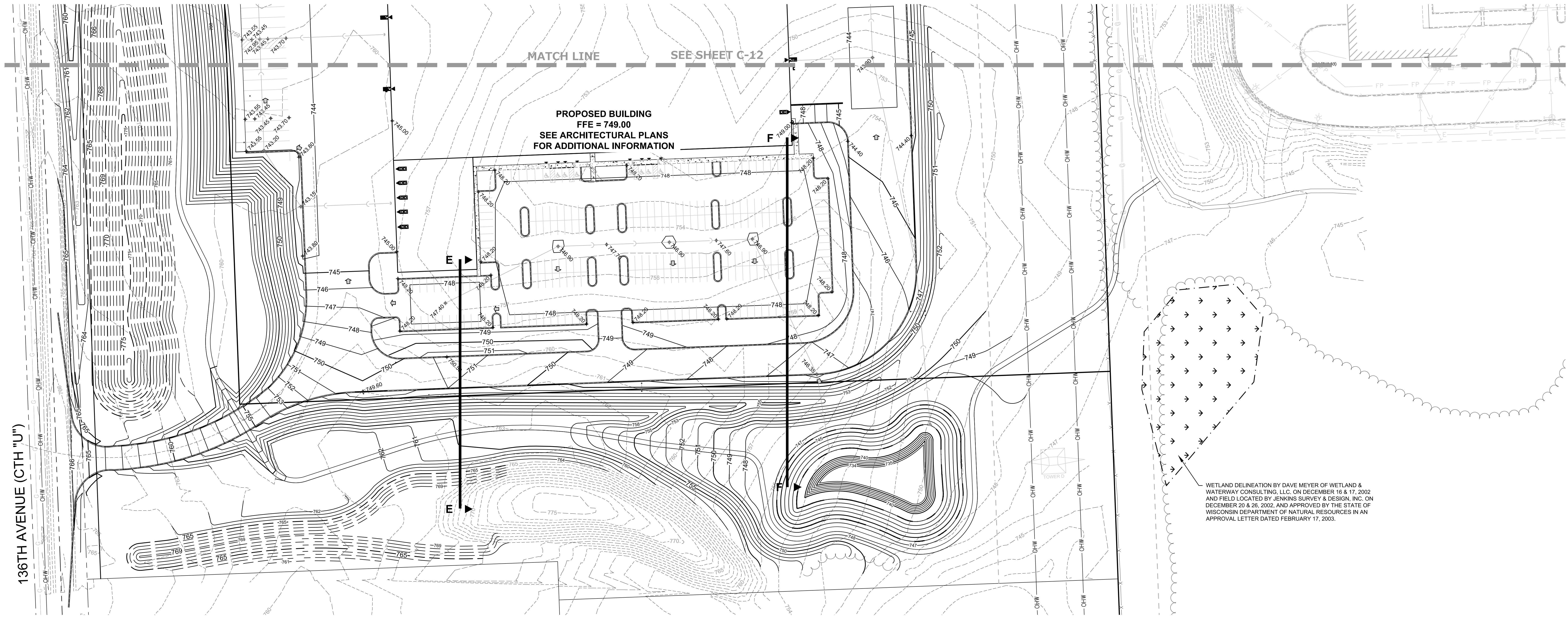
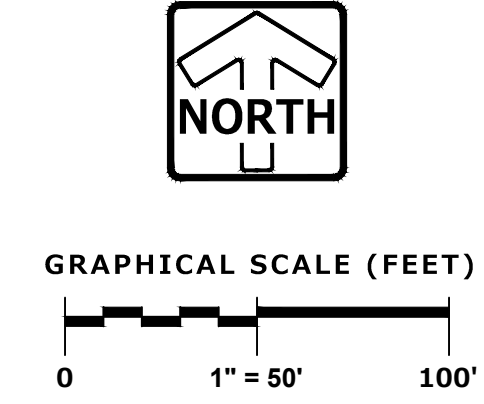
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C-28
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	DITCH OR SWALE		YARD GRADE
	DIVERSION SWALE		
	FLOODPLAIN		



WETLAND DELINEATION BY DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC, ON DECEMBER 16 & 17, 2002 AND FIELD LOCATED BY JENKINS SURVEY & DESIGN, INC. ON DECEMBER 20 & 26, 2002, AND APPROVED BY THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN AN APPROVAL LETTER DATED FEBRUARY 17, 2003.

136TH AVENUE (CTH "U")

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PLEASANT PRAIRIE, WI

GRADING PLAN

REVISIONS	

REG. OR. NO. 119.00-017	ABA
START DATE 07-11-14	
SCALE	

SHEET	C-13
OF	8
SHEET	C-28

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FOR REVIEW

GRADING PLAN

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- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THEREOF. THE CONTRACTOR SHALL CALL "GOGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT 48 HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND

- APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICES FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443; HIGH DENSITY DUAL-WALL POLYETHYLENE (HDPE) CORRUGATED PIPE (HDPES) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE "B", OR POLYVINYL CHLORIDE (PVC) CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1500 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3007, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".

- WATER MAIN SPECIFICATIONS -
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
- HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 30 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18 INCHES AND NO GREATER THAN 23 INCHES.
- BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR 35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3022.
- BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE

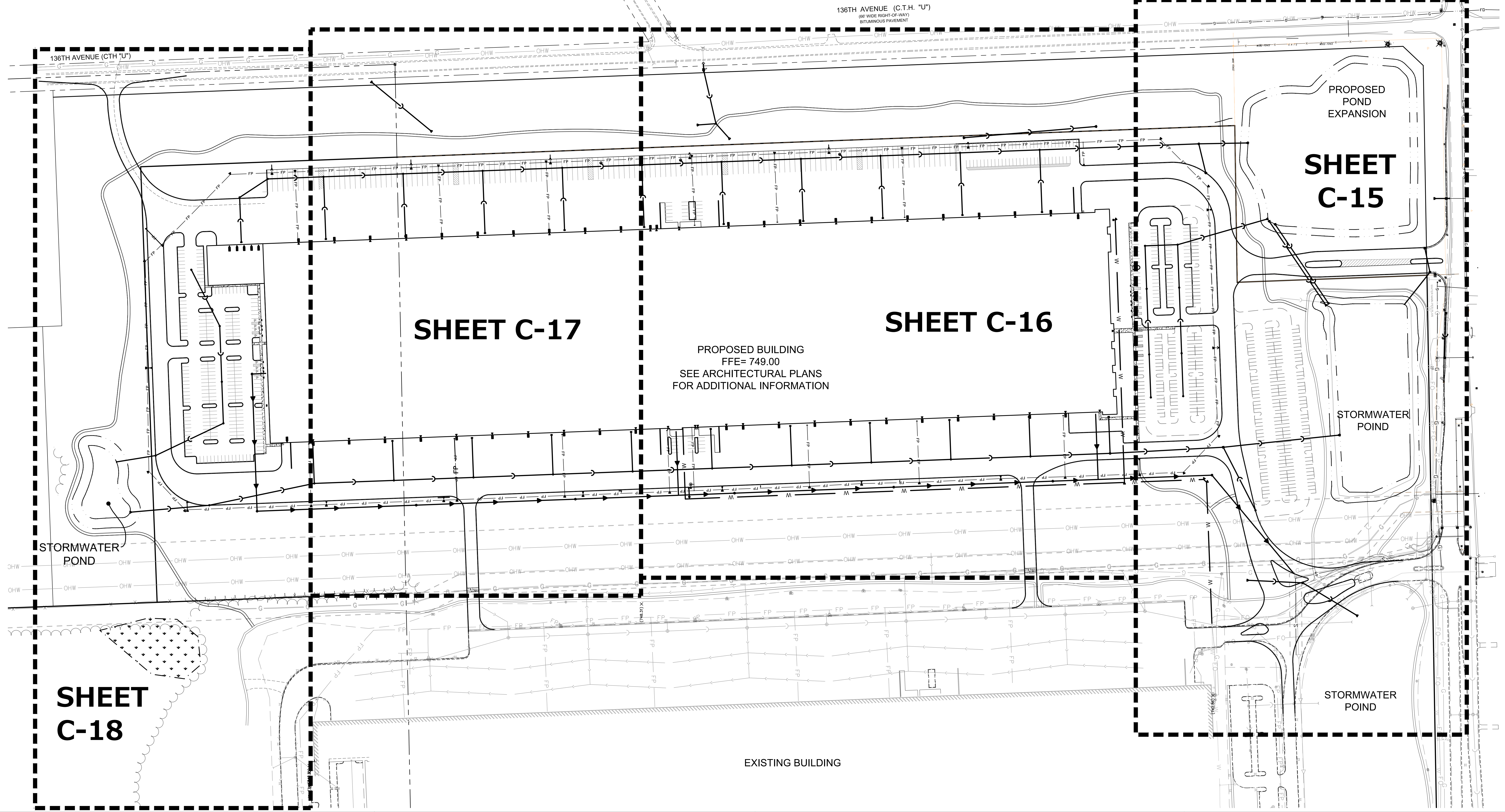
- APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
- BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
- MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TWP.3).
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF COMMERCE REGULATIONS IN CHAPTER 82. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

LEGEND

	SANITARY SEWER MANHOLE		WATER MAIN
	STORM SEWER MANHOLE		FIRE PROTECTION
	STORM SEWER INLET - ROUND CASTING		UTILITY CROSSING
	STORM SEWER INLET - RECTANGULAR CASTING		GRANULAR TRENCH BACKFILL
	PRECAST FLARED END SECTION		LIGHTING
	CONCRETE HEADWALL		ELECTRICAL CABLE
	VALVE VAULT		ELECTRICAL TRANSFORMER OR PEDESTAL
	VALVE BOX		POWER POLE
	FIRE HYDRANT		POWER POLE WITH LIGHT
	BUFFALO BOX		STREET SIGN
	CLEANOUT		GAS MAIN
	SANITARY SEWER		TELEPHONE LINE
	FORCE MAIN		UTILITY TO BE REMOVED
	STORM SEWER		

GRAPHICAL SCALE (FEET)
0 1" = 100' 200'

NORTH



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ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI

UTILITY PLAN

NO.	DATE	DESCRIPTION

REG. OR. NO. 119.00-WT
REC. PH. AEA
START DATE: 07-11-18
SCALE: AS SHOWN

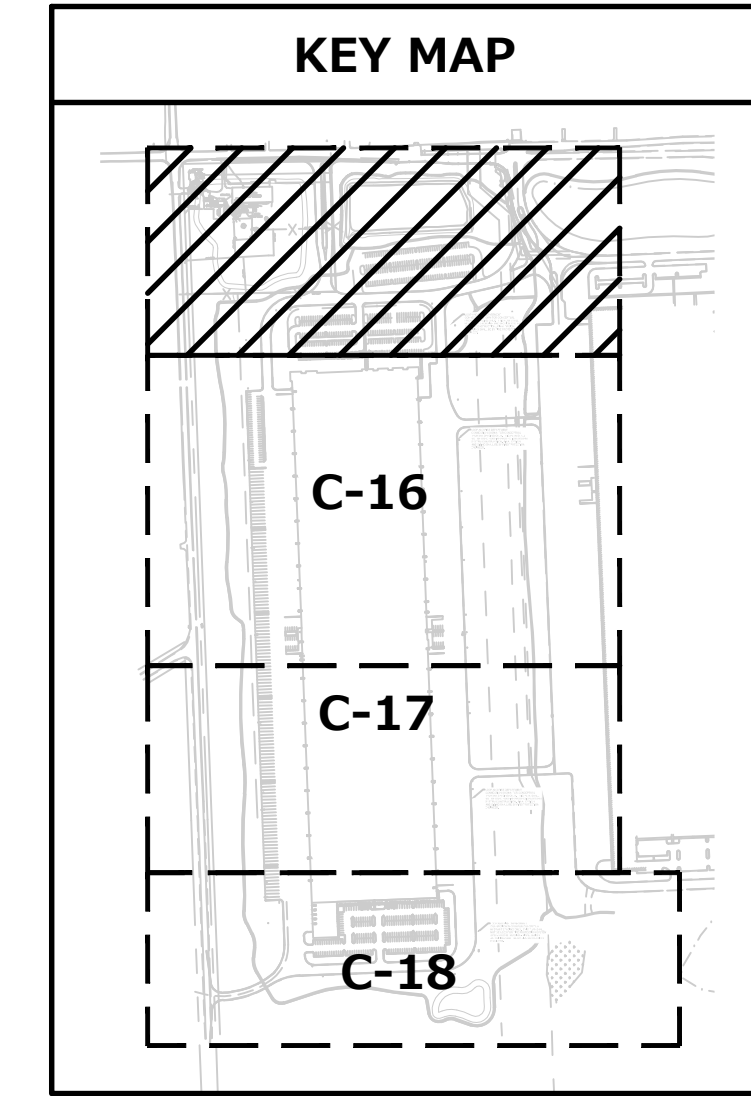
SHEET
C-14
of
C-28

UTILITY PLAN

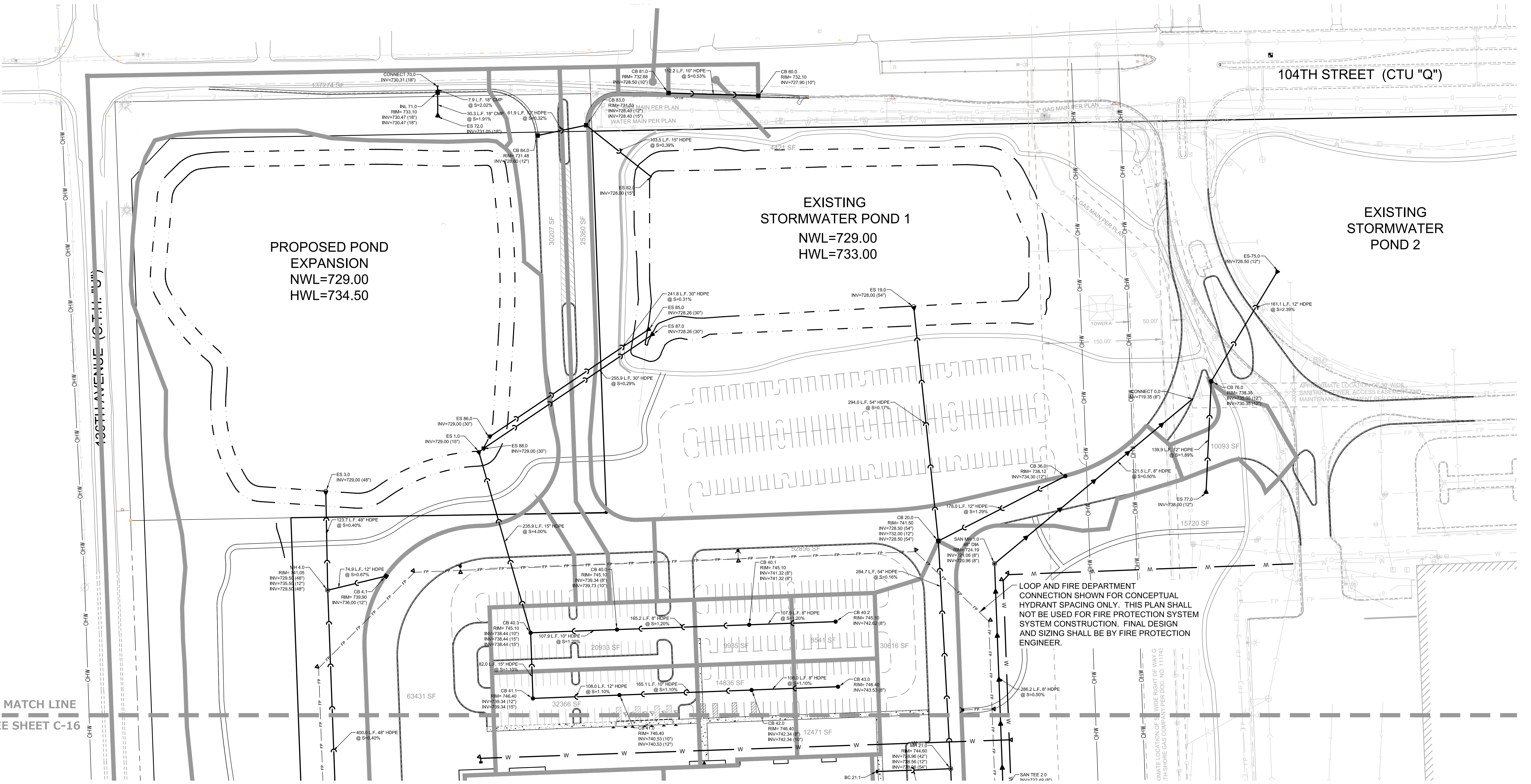
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LEGEND			
	SANITARY SEWER MANHOLE		STORM SEWER
	STORM SEWER MANHOLE		WATER MAIN
	STORM SEWER INLET - ROUND CASTING		FIRE PROTECTION
	STORM SEWER INLET - RECTANGULAR CASTING		UTILITY CROSSING
	PRECAST FLARED END SECTION		GRANULAR TRENCH BACKFILL
	CONCRETE HEADWALL		LIGHTING
	VALVE VAULT		ELECTRICAL CABLE
	VALVE BOX		ELECTRICAL TRANSFORMER OR PEDESTAL
	FIRE HYDRANT		POWER POLE
	BUFFALO BOX		POWER POLE WITH LIGHT
	CLEANOUT		STREET SIGN
	SANITARY SEWER		GAS MAIN
	FORCE MAIN		TELEPHONE LINE
			UTILITY TO BE REMOVED



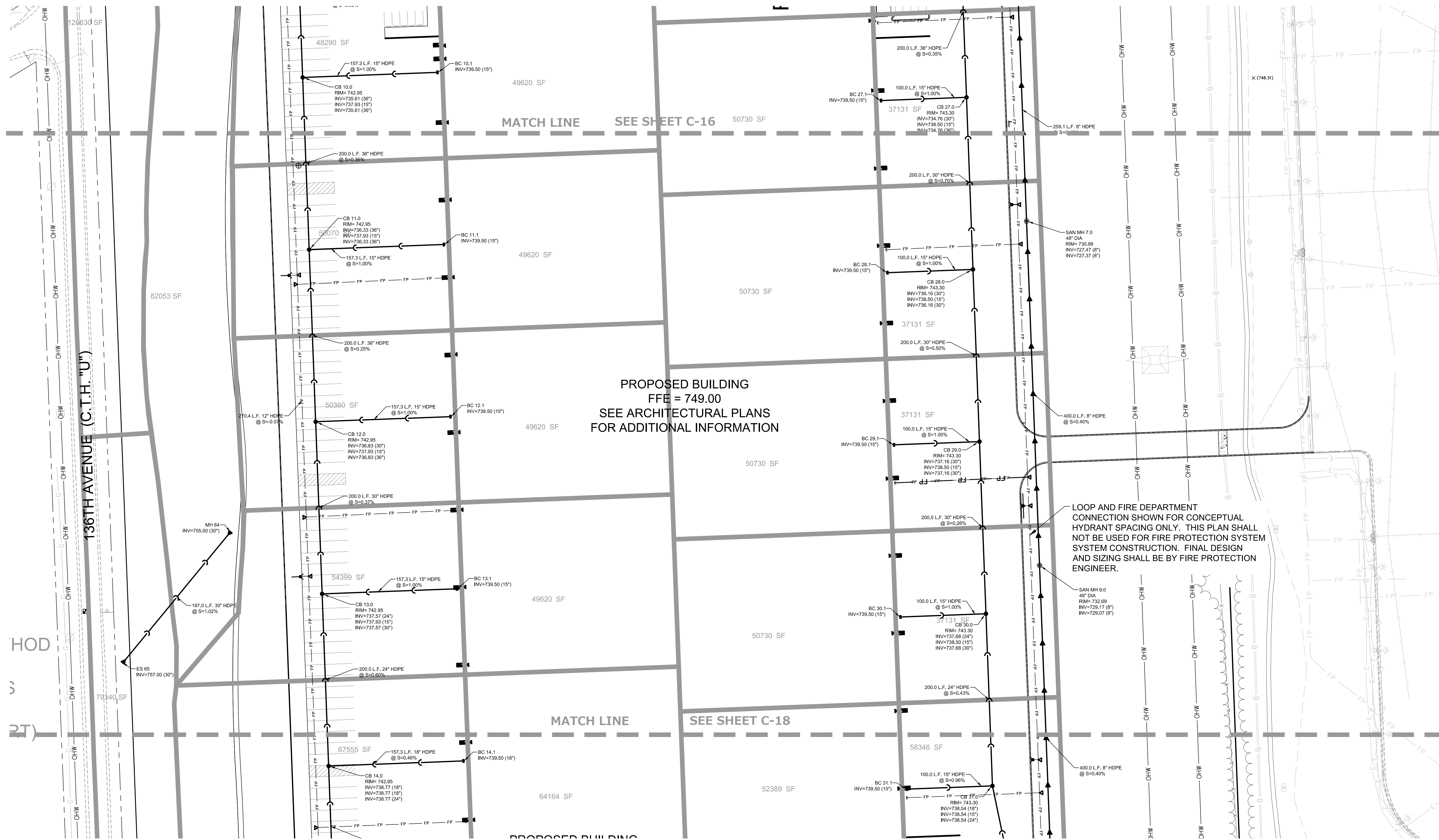
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UTILITY PLAN

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PLEASANT PRAIRIE, WI

UTILITY PLAN

REVISIONS

NO.	DATE	DESCRIPTION

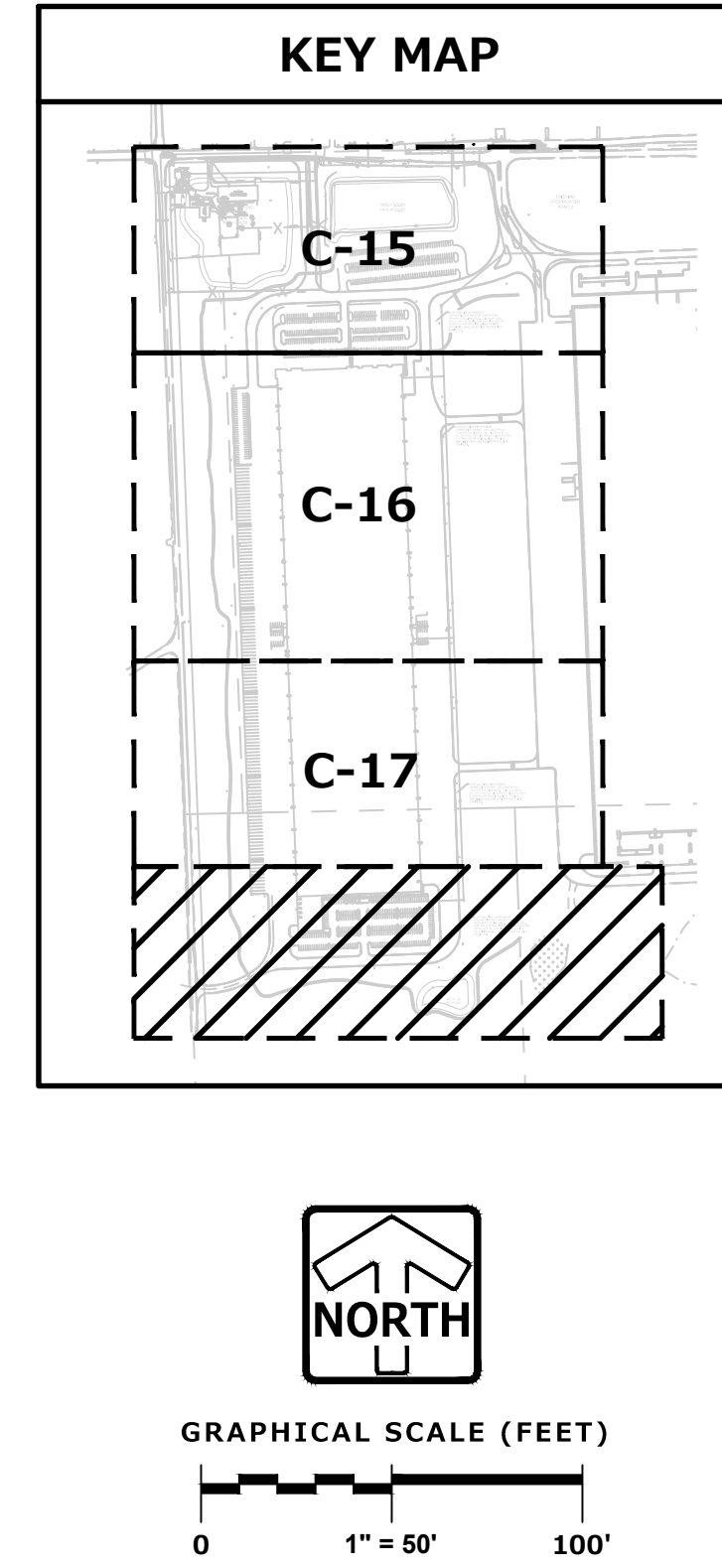
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REC. OR. NO. ABA
START DATE 07-11-24
SCALE

SHEET C-17 of C-28

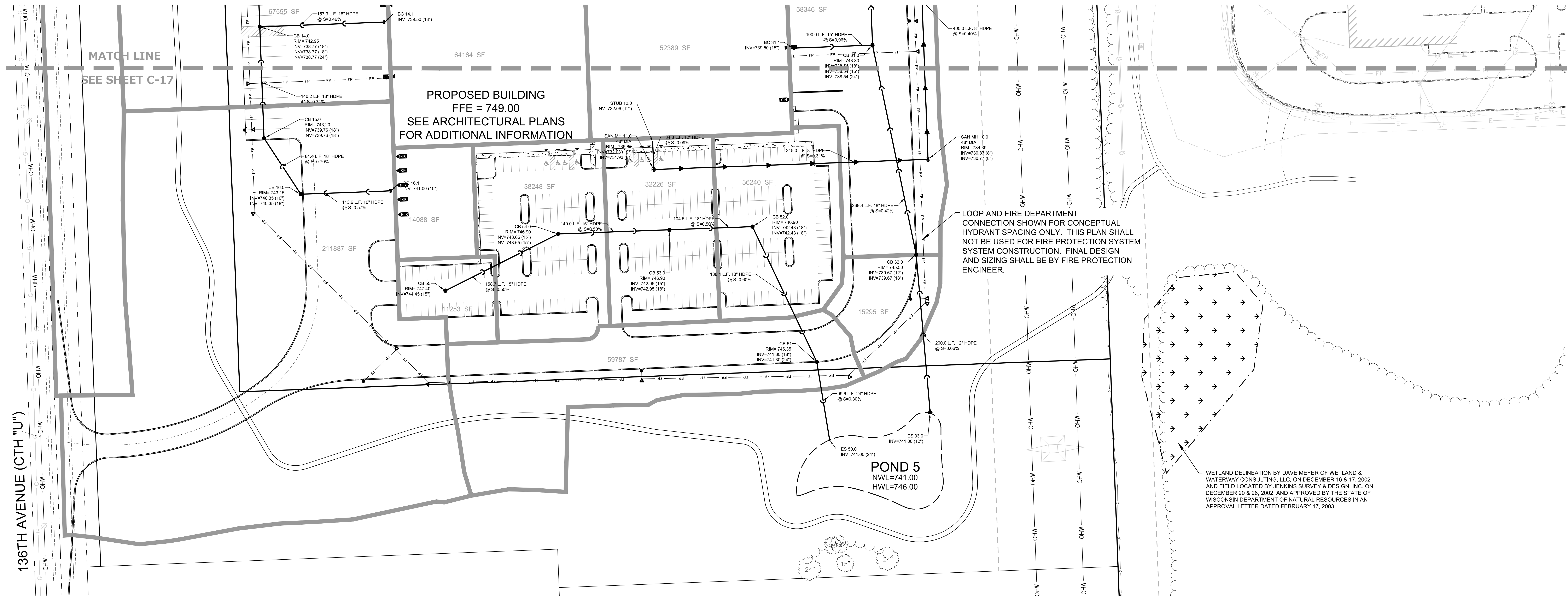
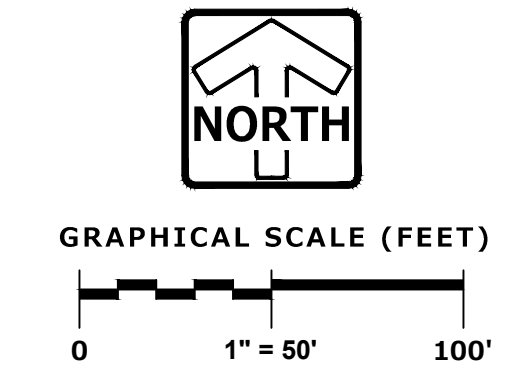
UTILITY PLAN

DESIGNED: BDP
CHECKED: PSM
REVIEWED: ABA
DATE: 02/11/14
PROJECT: ULINE CORPORATE CAMPUS PLEASANT PRAIRIE, WI
SHEET: C-18 OF C-28
SCALE: AS SHOWN
DRAWN: J. HARRIS
DATE: 02/11/14
PROJECT: ULINE CORPORATE CAMPUS PLEASANT PRAIRIE, WI
SHEET: C-18 OF C-28
SCALE: AS SHOWN
DRAWN: J. HARRIS

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LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER INLET- ROUND CASTING
	STORM SEWER INLET- RECTANGULAR CASTING
	PRECAST FLARED END SECTION
	CONCRETE HEADWALL
	VALVE VAULT
	VALVE BOX
	FIRE HYDRANT
	BUFFALO BOX
	CLEANOUT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	GRANULAR TRENCH BACKFILL
	LIGHTING
	ELECTRICAL CABLE
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHT
	STREET SIGN
	GAS MAIN
	TELEPHONE LINE
	UTILITY TO BE REMOVED



WETLAND DELINEATION BY DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC, ON DECEMBER 16 & 17, 2002 AND FIELD LOCATED BY JENKINS SURVEY & DESIGN, INC. ON DECEMBER 20 & 26, 2002, AND APPROVED BY THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN AN APPROVAL LETTER DATED FEBRUARY 17, 2003.

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**ULINE CORPORATE CAMPUS
PLEASANT PRAIRIE, WI**

UTILITY PLAN

REVISIONS	

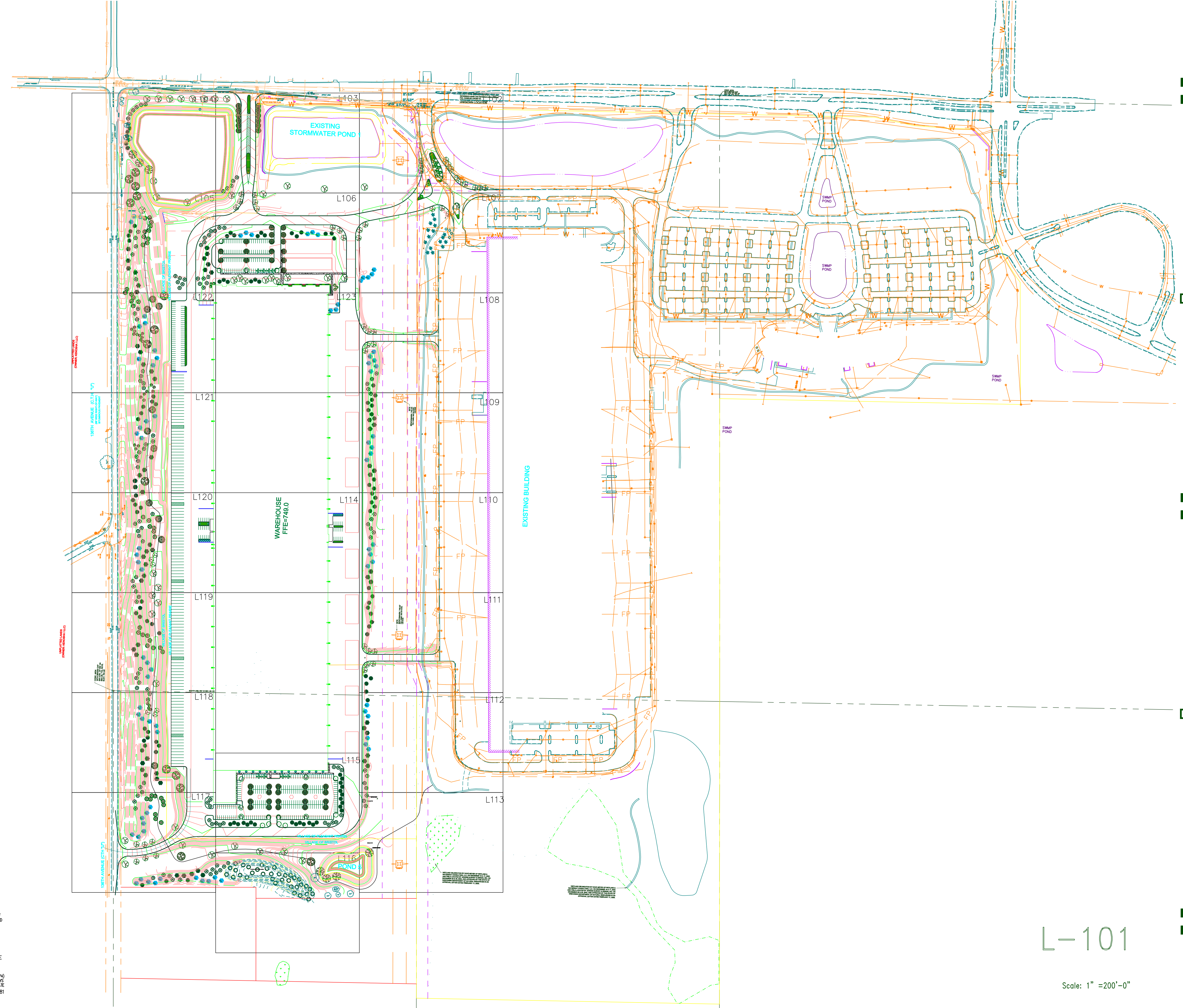
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SCALE: AS SHOWN

SHEET **C-18** OF **C-28**

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UTILITY PLAN

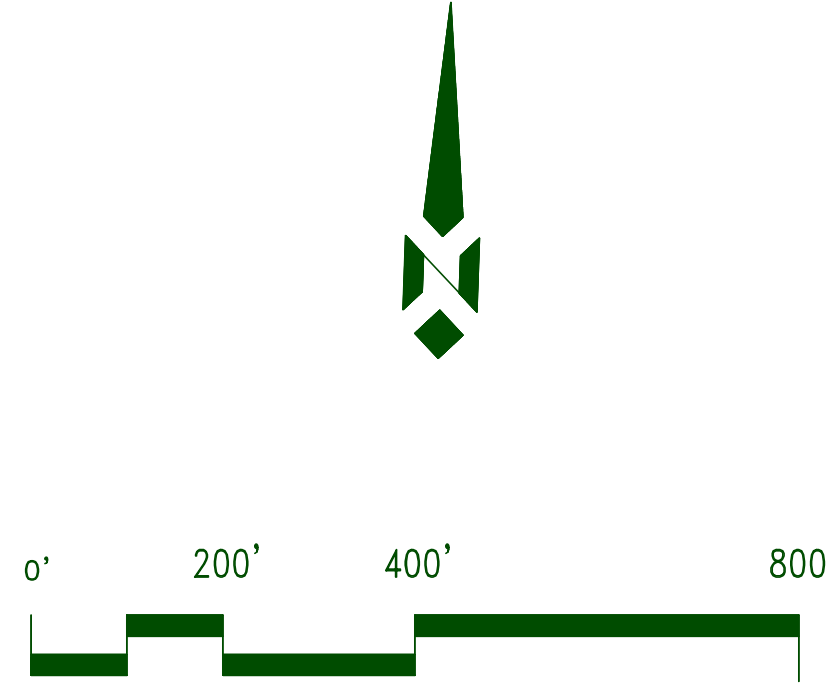
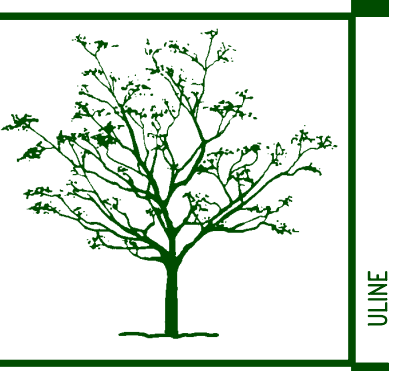


Landscape Development for
Uline Corporation
12575 Uline Drive
Pleasant Prairie, Wisconsin

David J. Frank
Design Group
N120 W21350 Freistadt Road
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Germantown, WI 53022
U.S.A.
Tel: (262) 255-4888
Fax: (262) 628-4729
Email: mail@davidjfrank.com
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Landscape
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Vance C. Barnes
RLA, LEED AP

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Sheet 1
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Revision: 7/9/14



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L-101
Scale: 1" = 200'-0"

STARTING BENCHMARK: 737.35
REFERENCE MARK AND REFERENCE BENCHMARK
FND. CHISELED CROSS ON
TOP-NW SIDE OF HYDRANT FLANGE
UNKNOWN LOCATION

INLET RIM 732.20
INV. S 727.40

INLET RIM 731.52
INV. N 727.62

MH RIM 731.19
INV. W & SE 720.69

MH RIM 730.91
12" SAN. PVC.
INV. S & NW 720.56

4" GAS MAIN PER PLAN
PER PLAN

MH RIM 731.19
INV. W & SE 720.69

14" GAS MAIN PER PLAN

Manicured Turf

TOWER A

(5) Miyabe Maple

(36) Grow Low Sumac
(35) Karl Foerster Grass
(7) Autumn Brilliance Serviceberry

(9) Miyabe Maple

MH RIM 735.15
INV. N SW & E 719.35

(20) Grow Low Sumac
(1) Autumn Brilliance Serviceberry

Grow Low Sumac

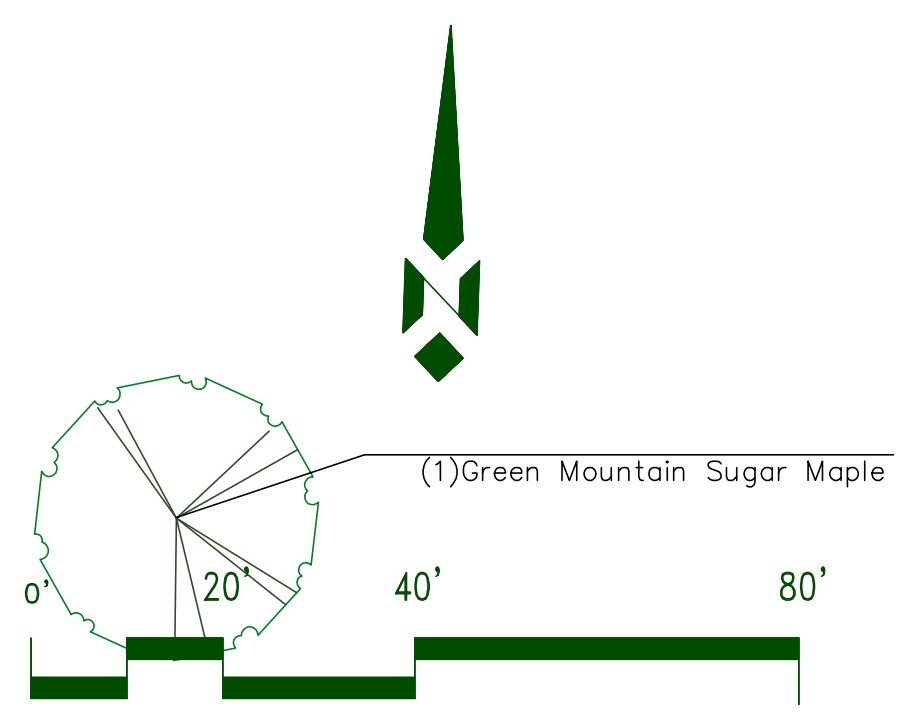
No Mow Turf

No Mow Turf

L-102

Scale: 1" = 20'-0"

1



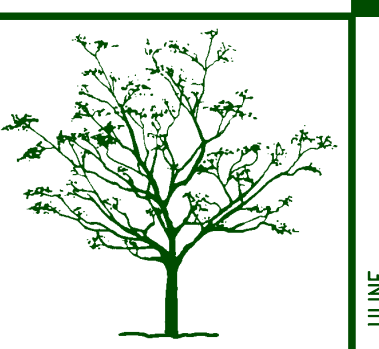
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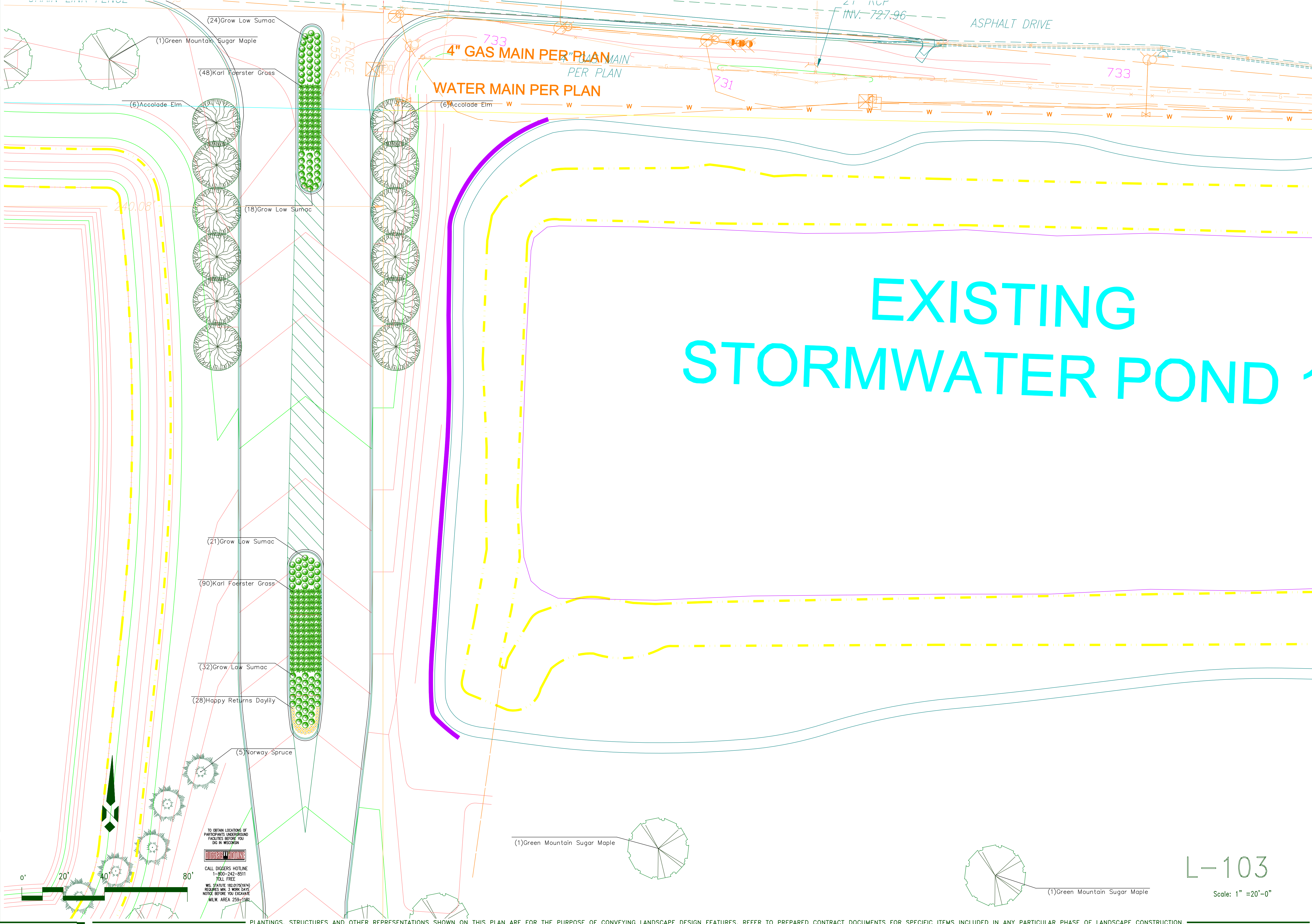
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RLA, LEED AP

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Sheet 2
of 24
Date: 6/19/14
Revision: 7/9/14



ULINE



EXISTING STORMWATER POND

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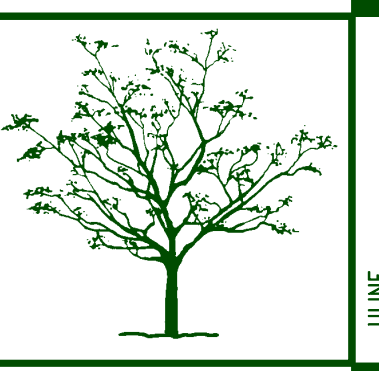
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L-103
Scale: 1" = 20'-0"



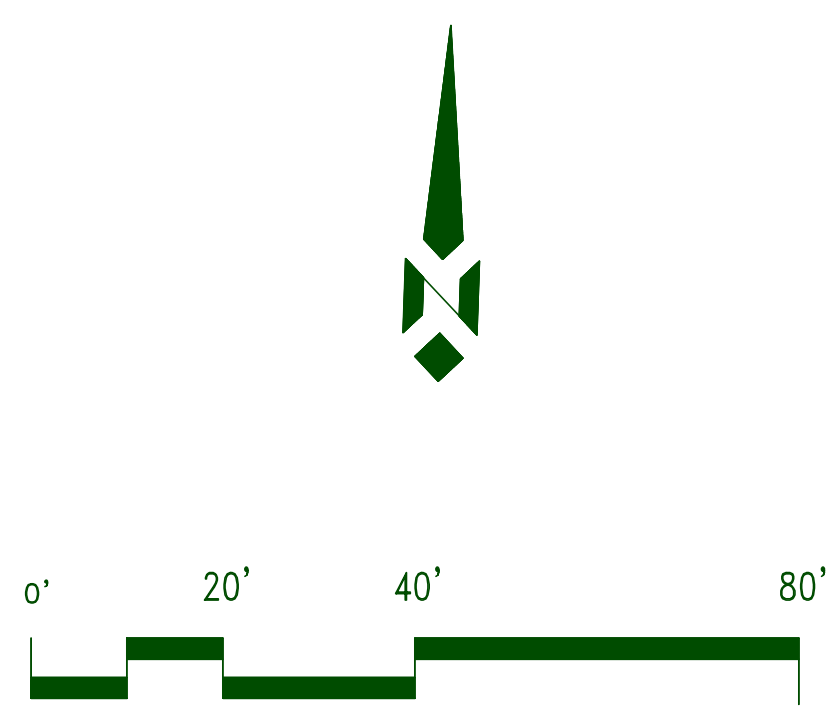
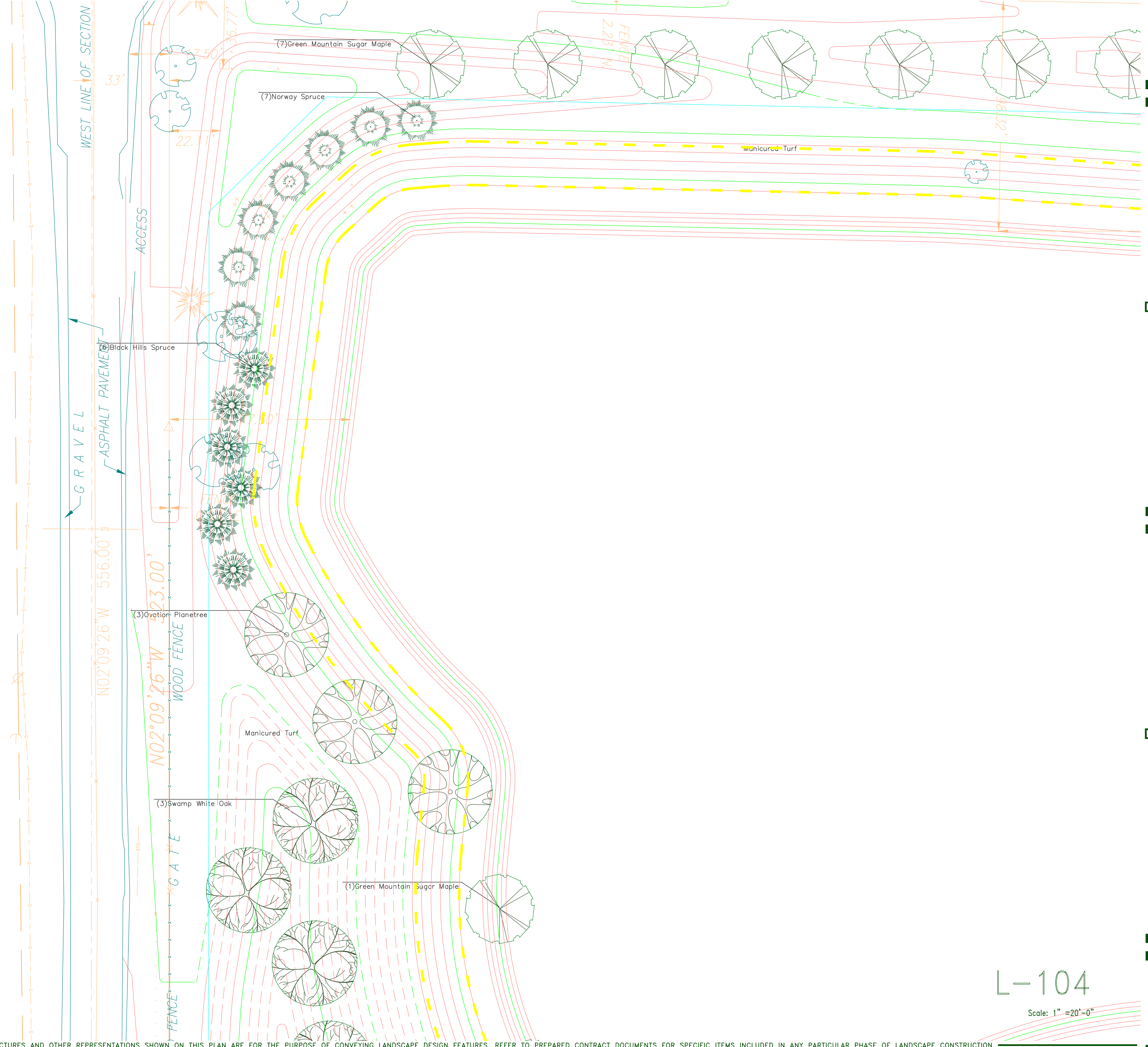
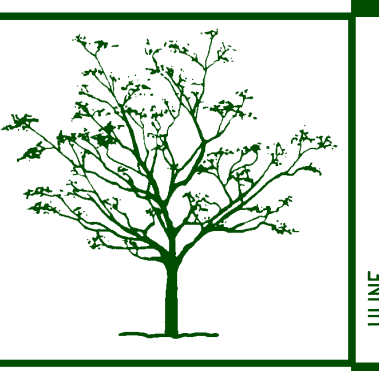


Landscape Development for
 Uline Corporation
 12575 Uline Drive
 Pleasant Prairie, Wisconsin

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Drawn By
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 Revision: 7/9/14



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L-104
 Scale: 1" = 20'-0"

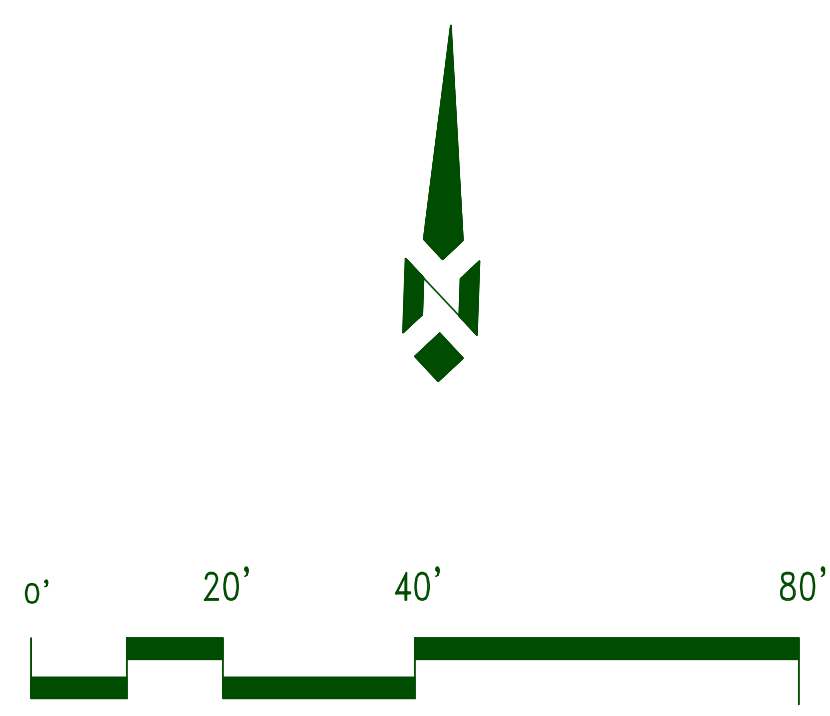
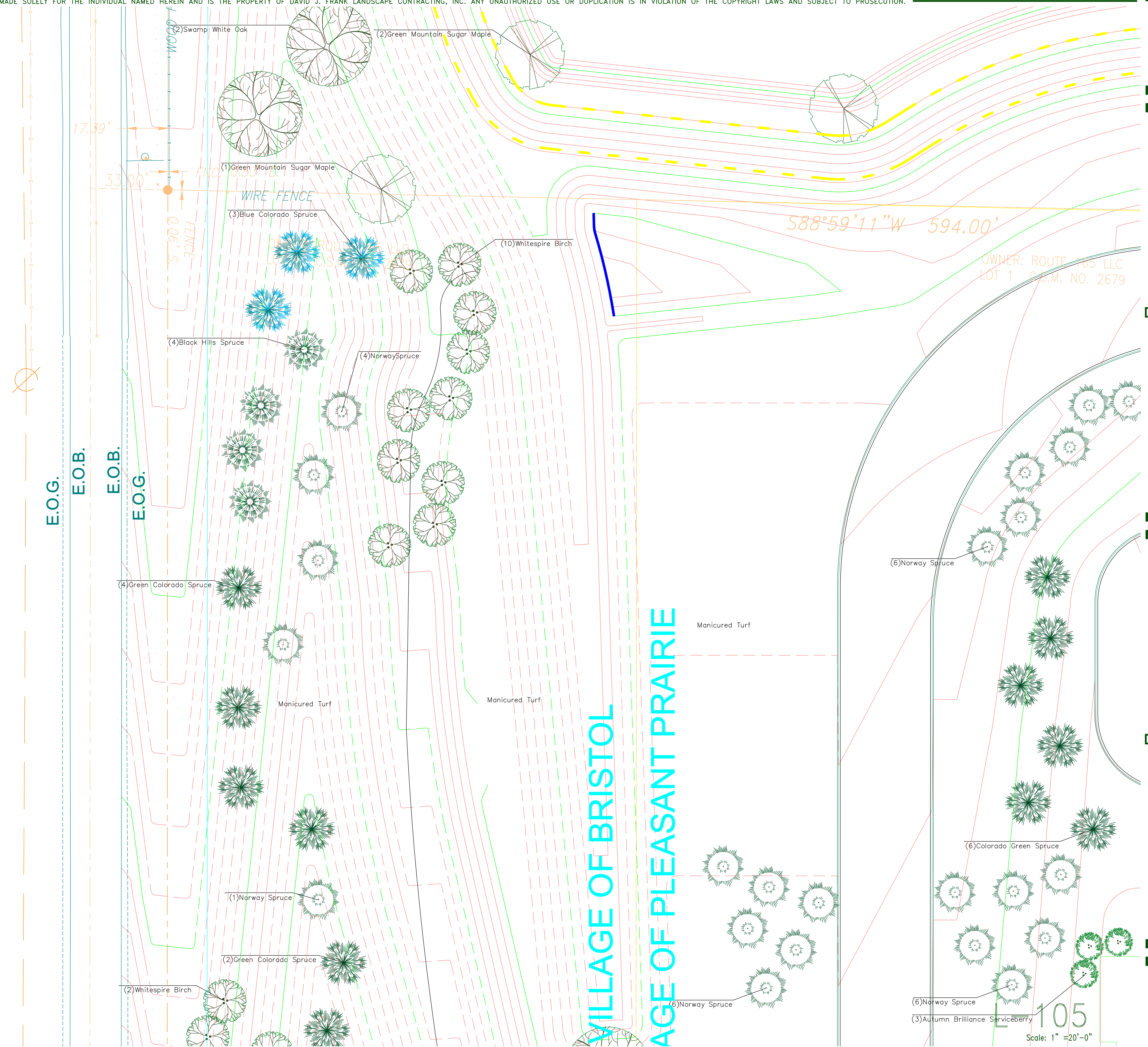
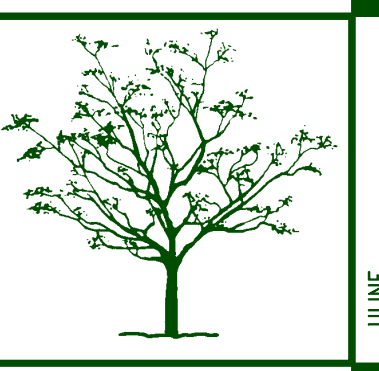


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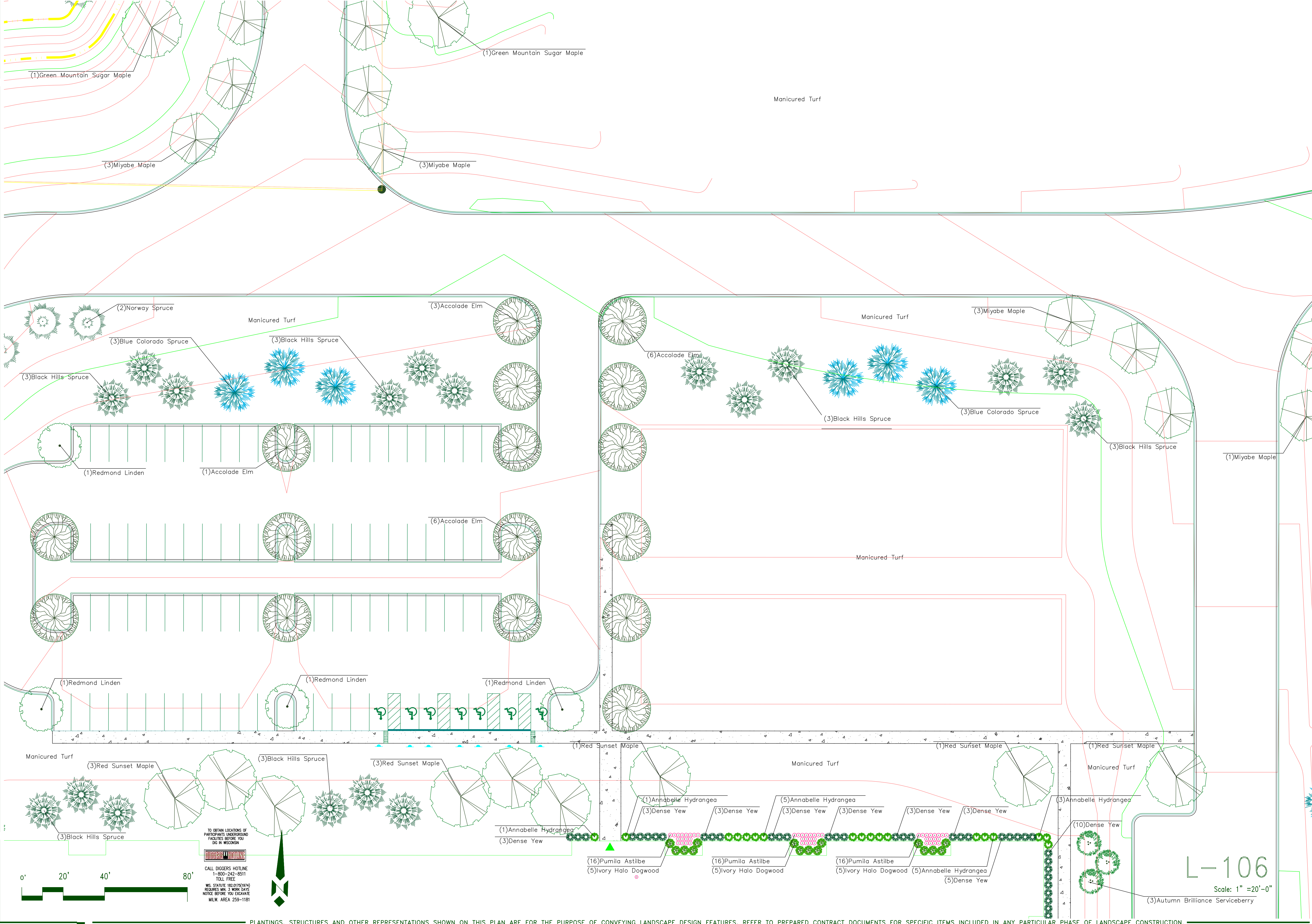
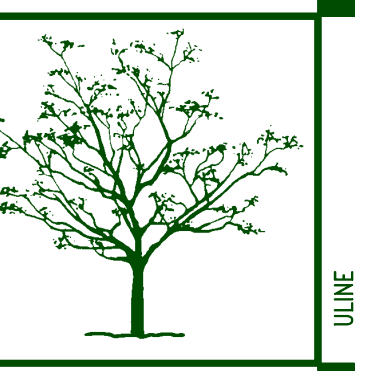
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L-106
Scale: 1" = 20'-0"

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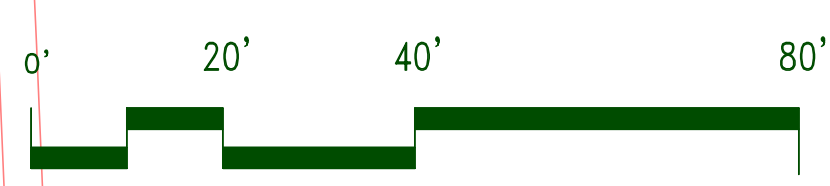
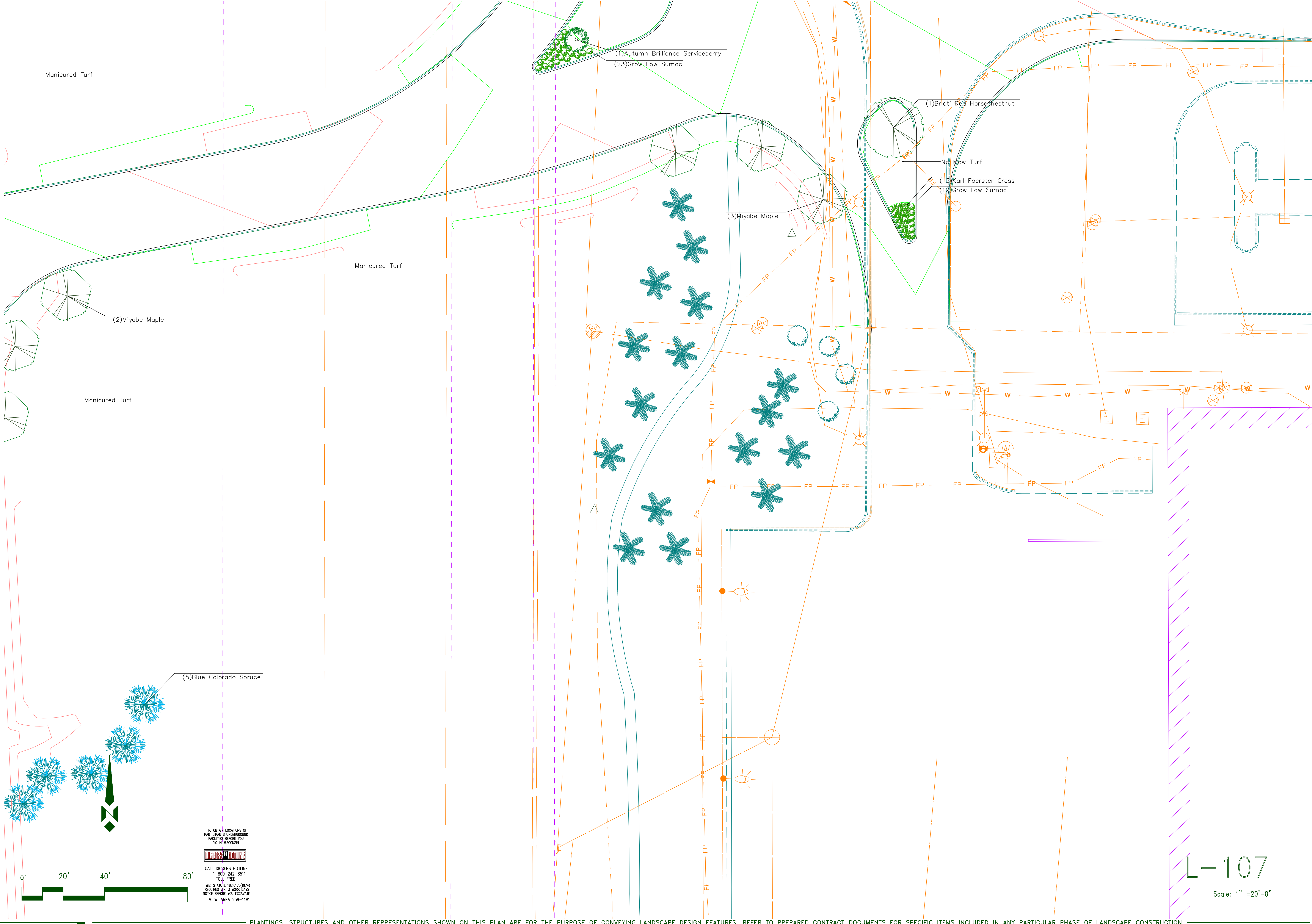
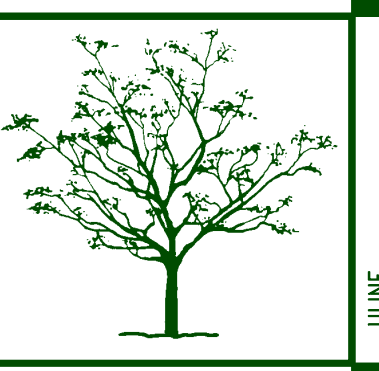
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12575 Uline Drive
Pleasant Prairie, Wisconsin

David J. Frank
Design Group

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U.S.A.
Tel: (262) 255-4888
Fax: (262) 628-4729
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RLA, LEED AP

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of 24
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L-107
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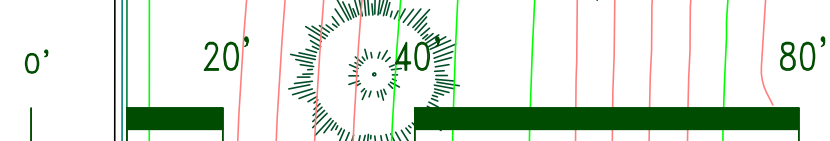
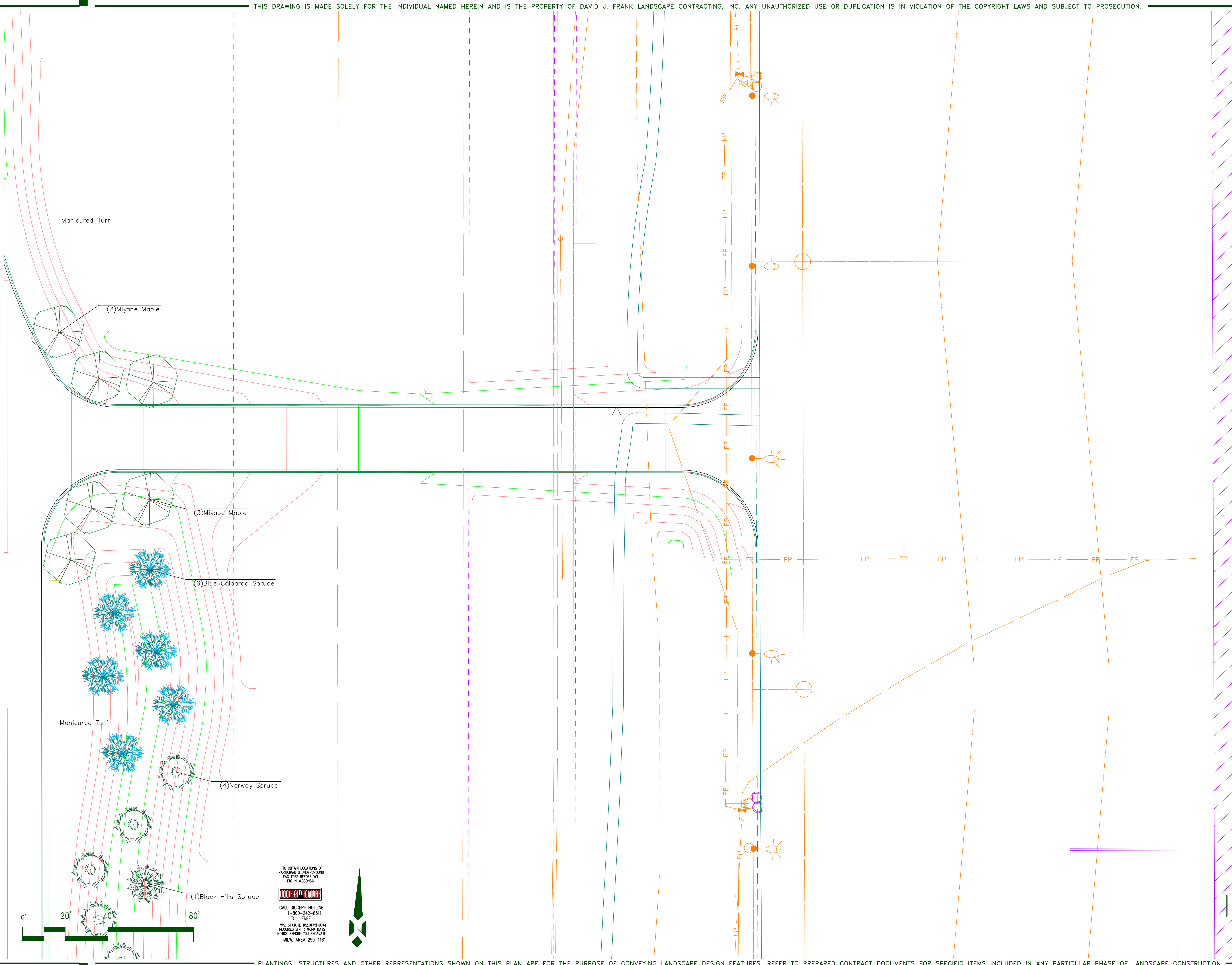
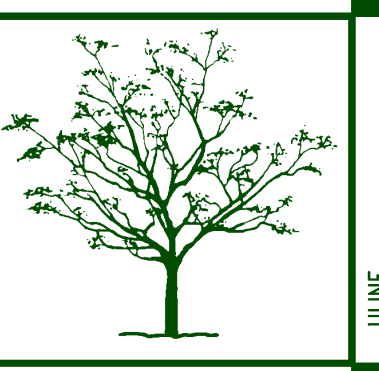


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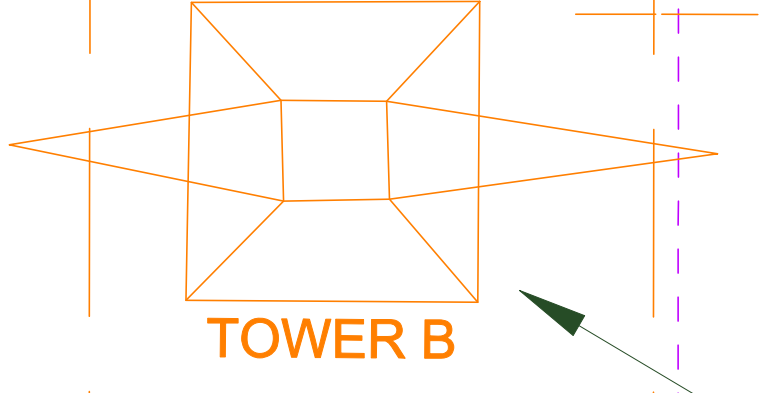
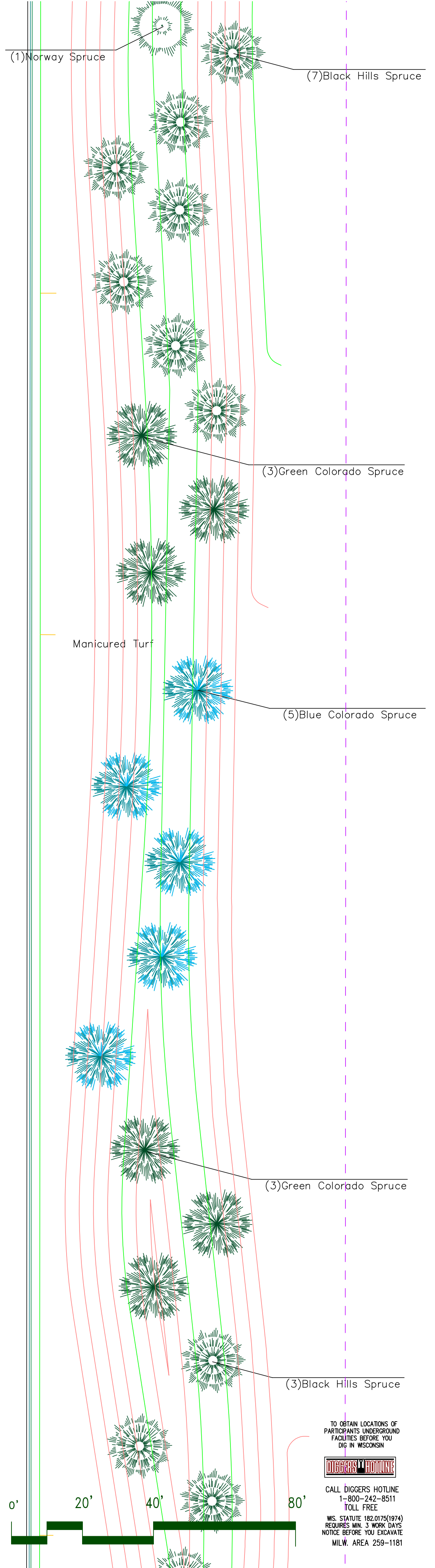
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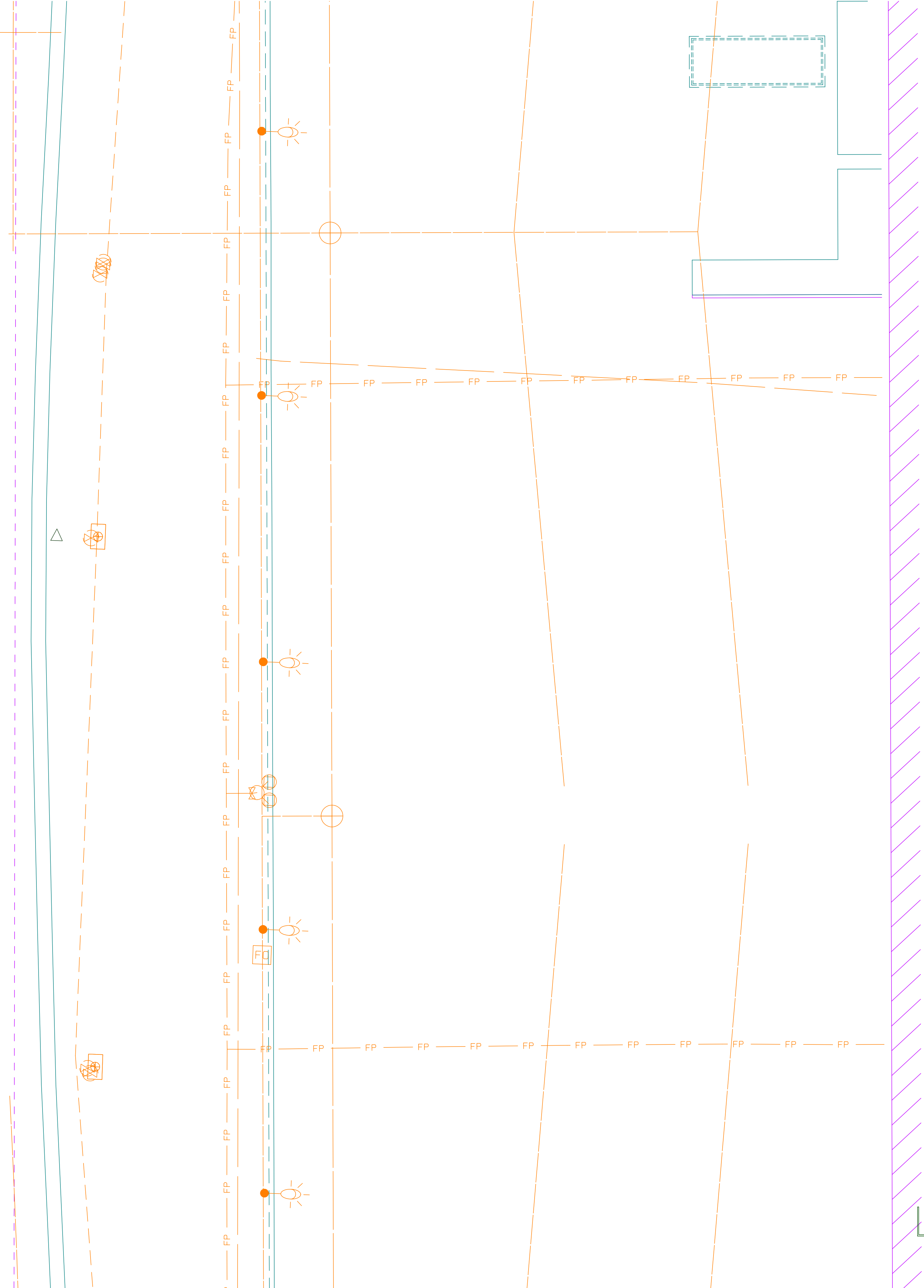


L-108
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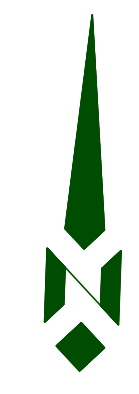


TOWER B

SITE
BENCHMARK: 742.24
 FND. CHISEL. BOX ON CONC.
 LEG BASE



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L-109
 Scale: 1" = 20'-0"

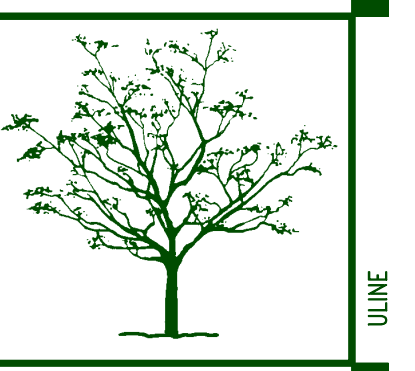


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ULINE

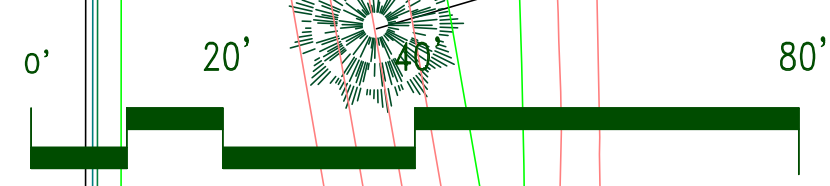
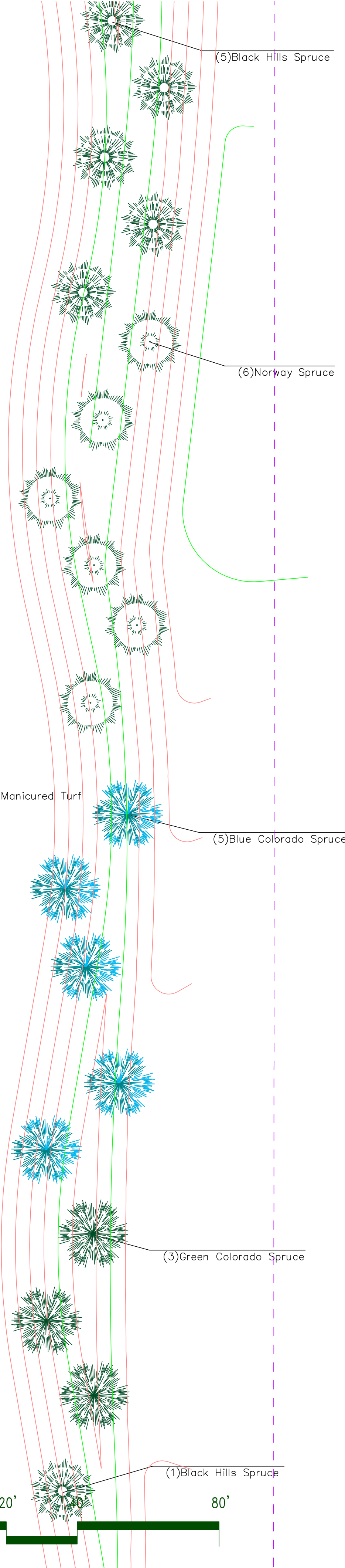
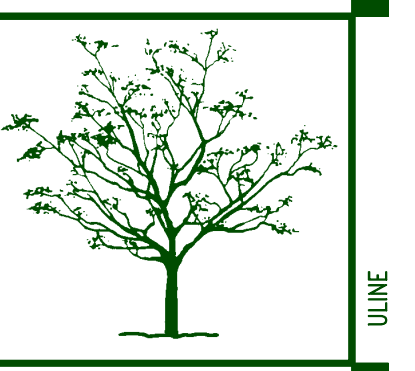


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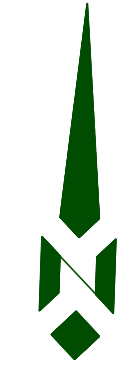
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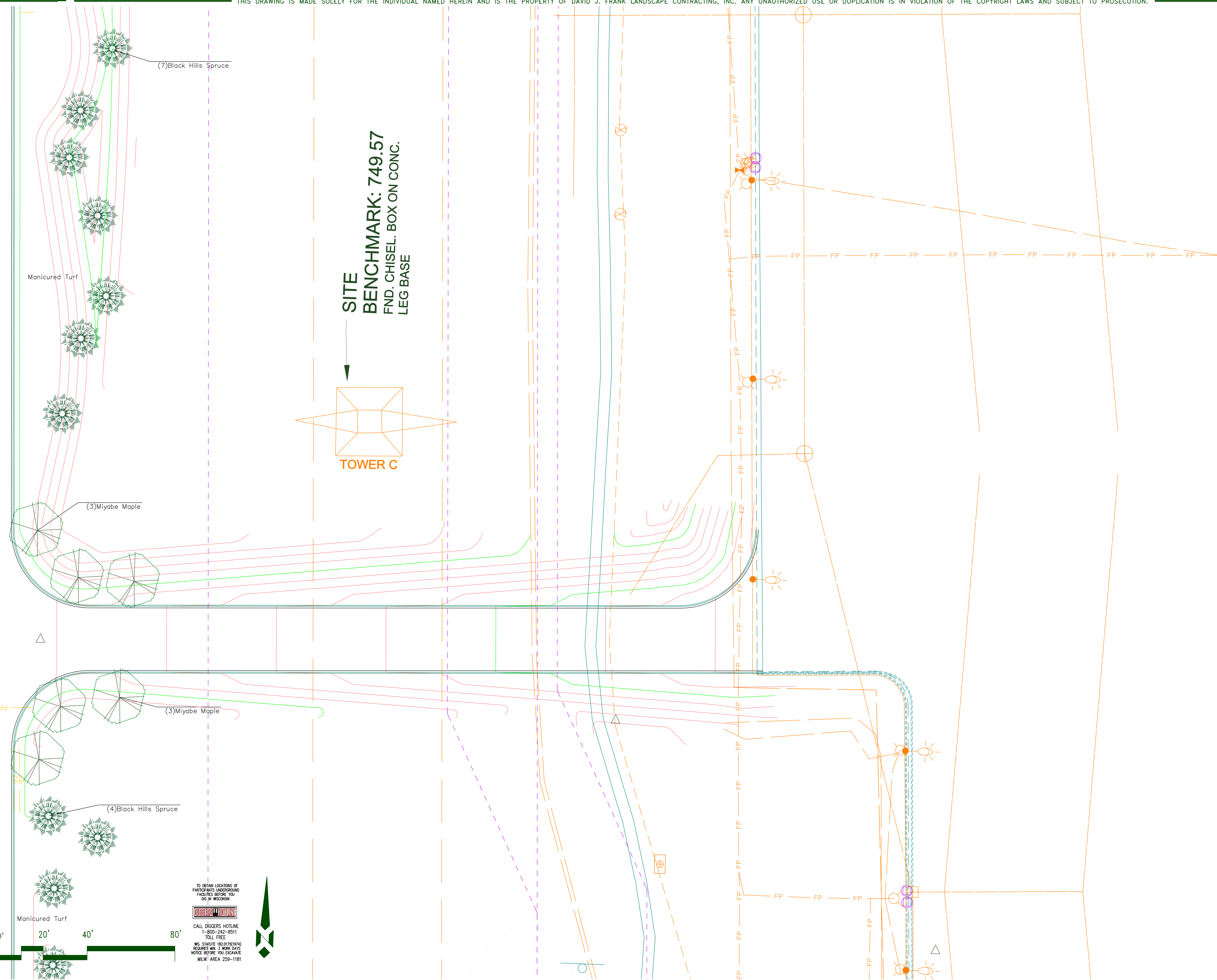
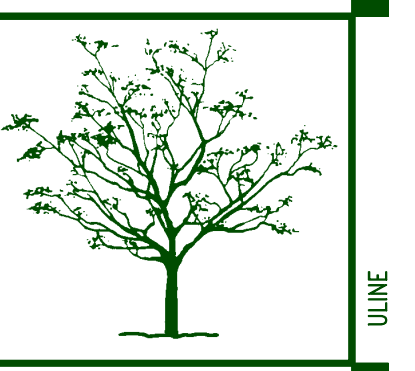


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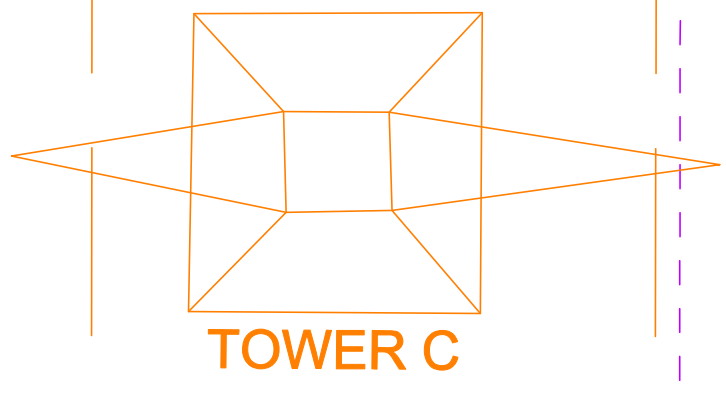
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SITE
BENCHMARK: 749.57
 FND. CHISEL. BOX ON CONC.
 LEG BASE



(7)Black Hills Spruce

Manicured Turf

(3)Miyabe Maple

(3)Miyabe Maple

(4)Black Hills Spruce



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L-111
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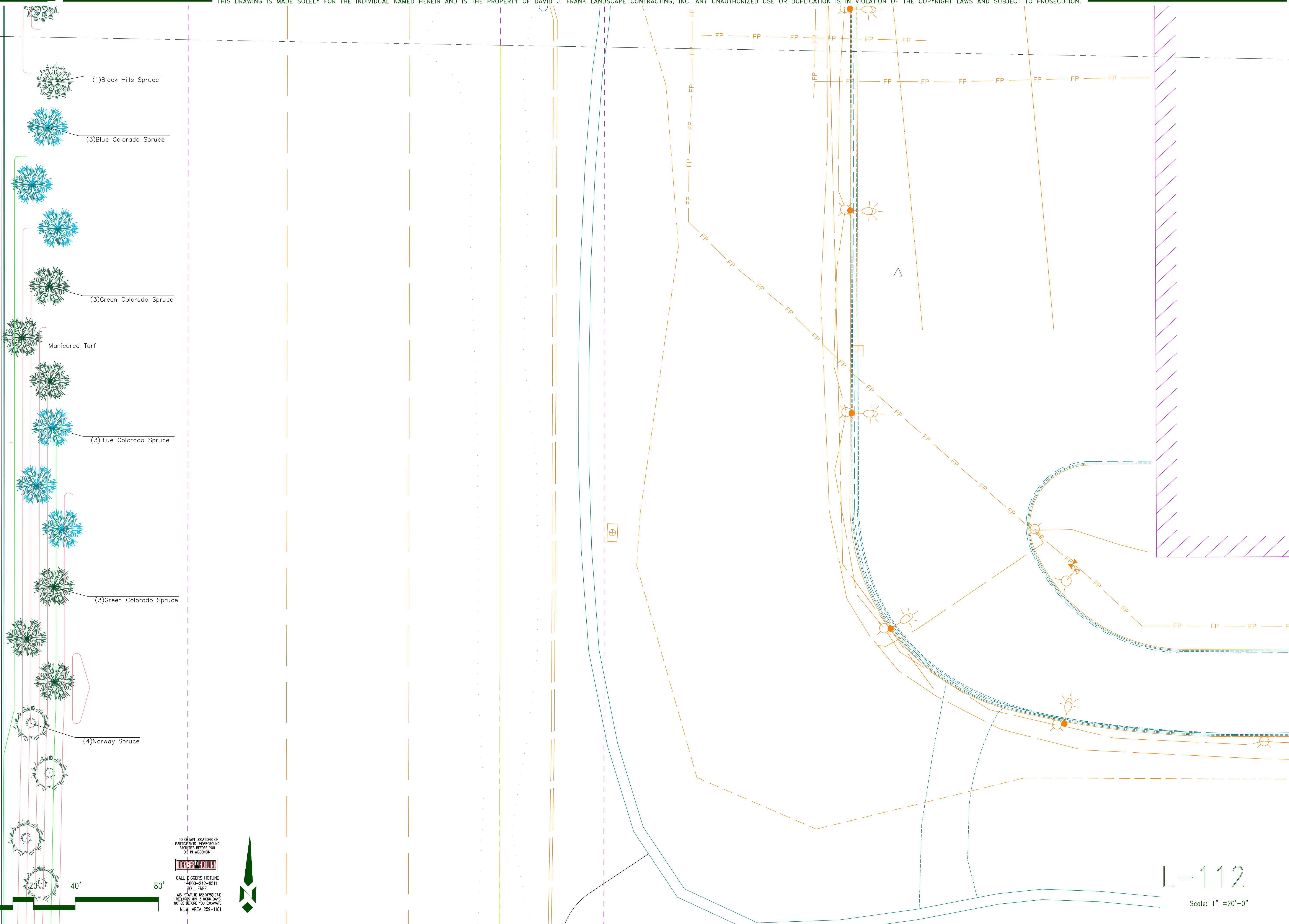
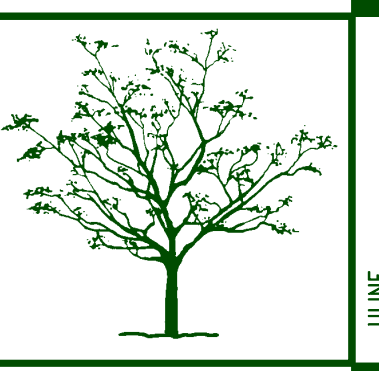
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(1)Black Hills Spruce

(3)Blue Colorado Spruce

(3)Green Colorado Spruce

Manicured Turf

(3)Blue Colorado Spruce

(3)Green Colorado Spruce

(4)Norway Spruce

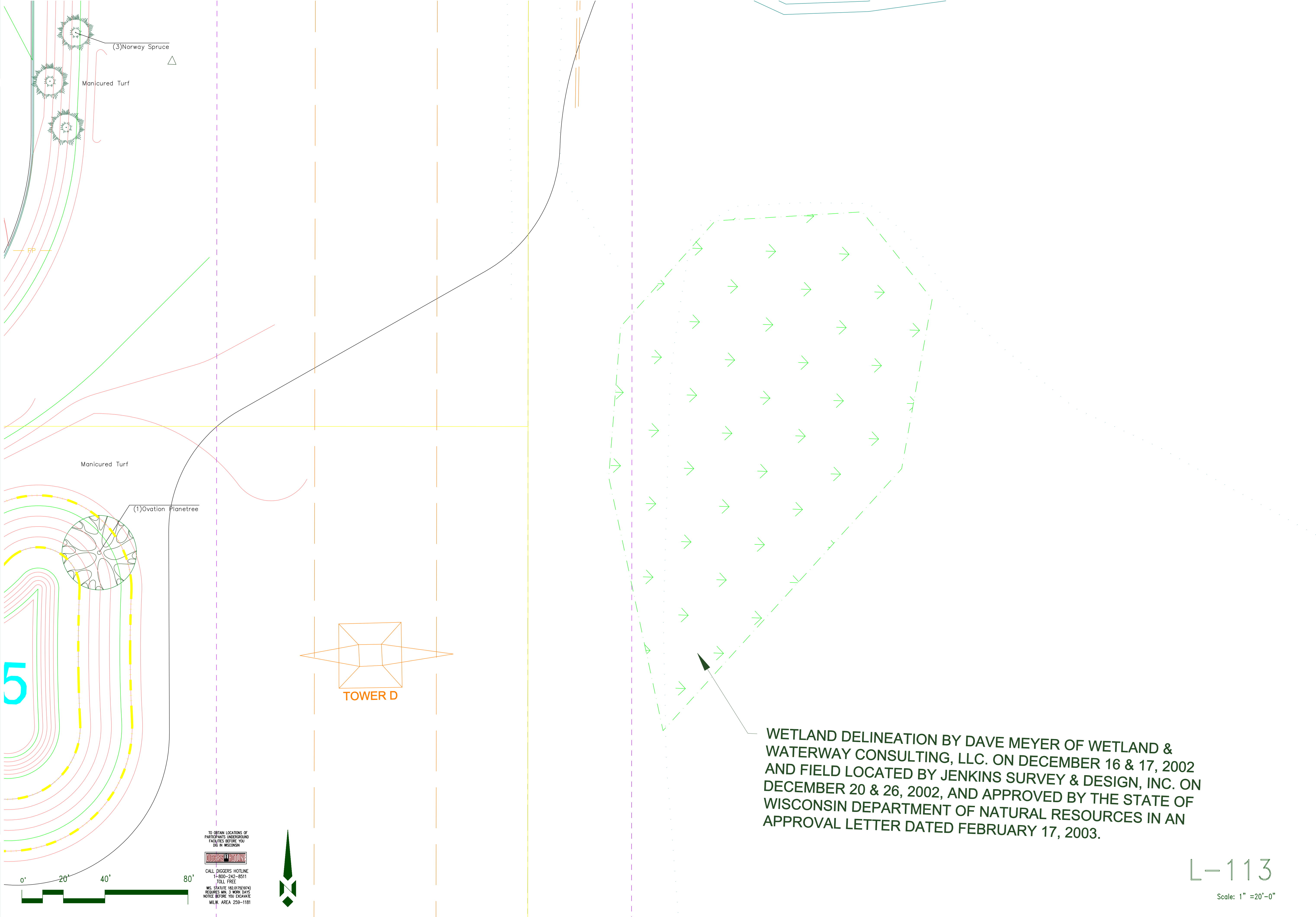


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L-112

Scale: 1" = 20'-0"



(3)Norway Spruce

Manicured Turf

Manicured Turf

(1)Ovation Planetree

TOWER D

WETLAND DELINEATION BY DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC. ON DECEMBER 16 & 17, 2002 AND FIELD LOCATED BY JENKINS SURVEY & DESIGN, INC. ON DECEMBER 20 & 26, 2002, AND APPROVED BY THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN AN APPROVAL LETTER DATED FEBRUARY 17, 2003.

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L-113

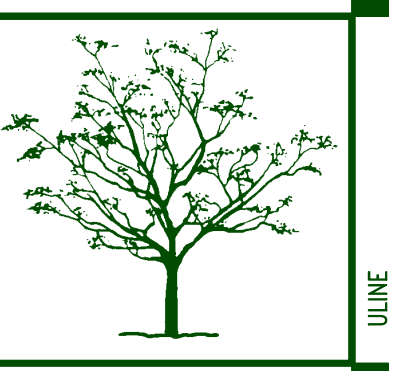
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WAREHOUSE FFE=749.0

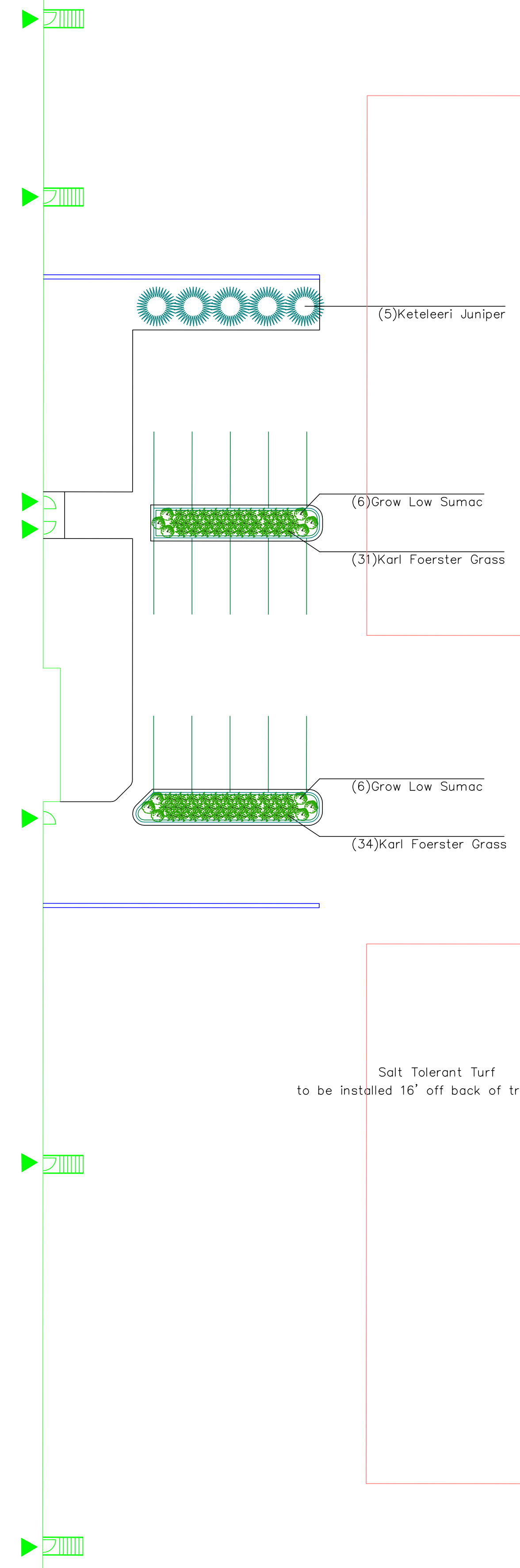
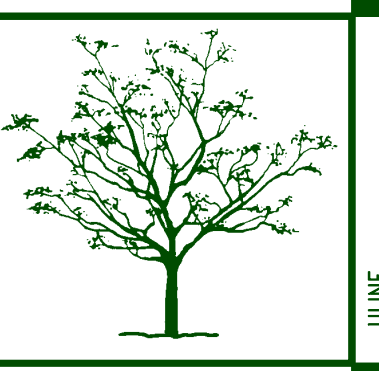


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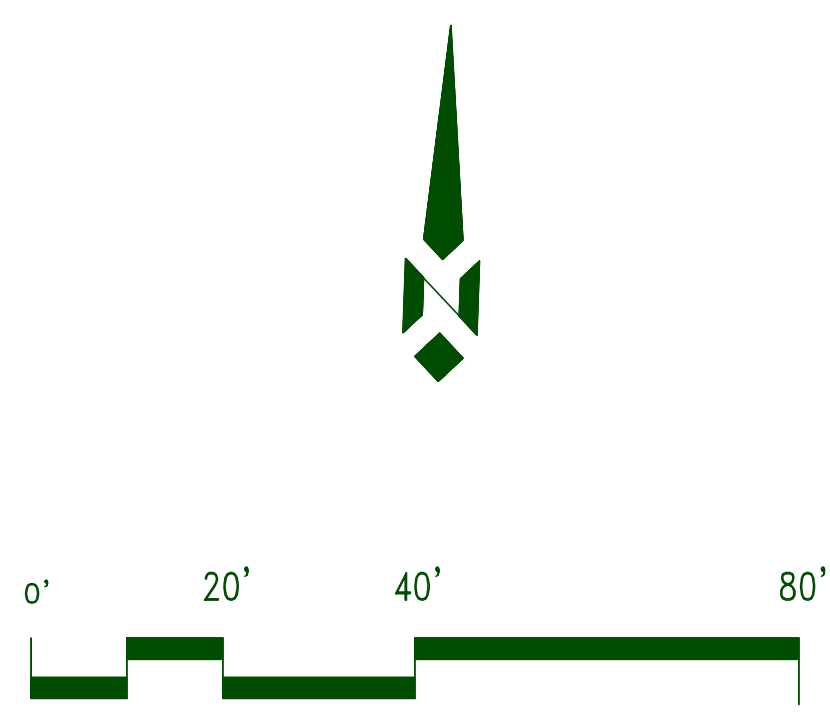
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L-114
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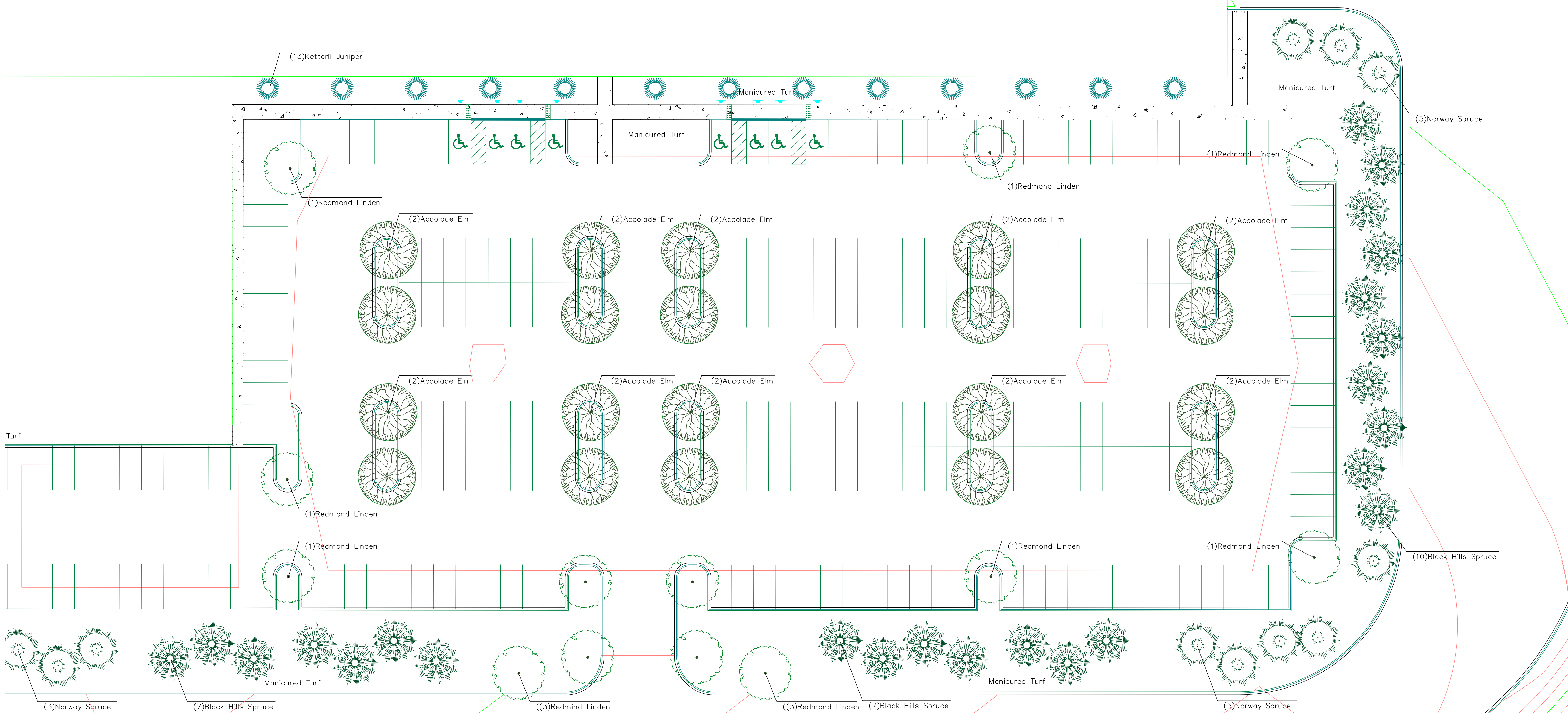
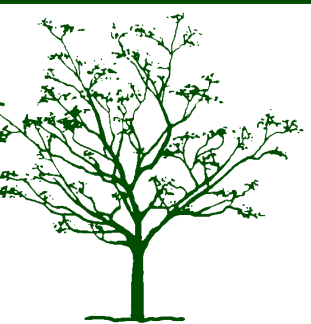
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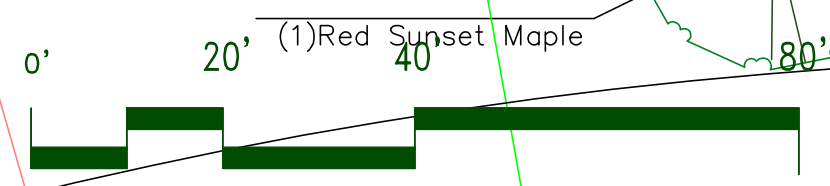


VILLAGE OF PLEASANT PRAIRIE

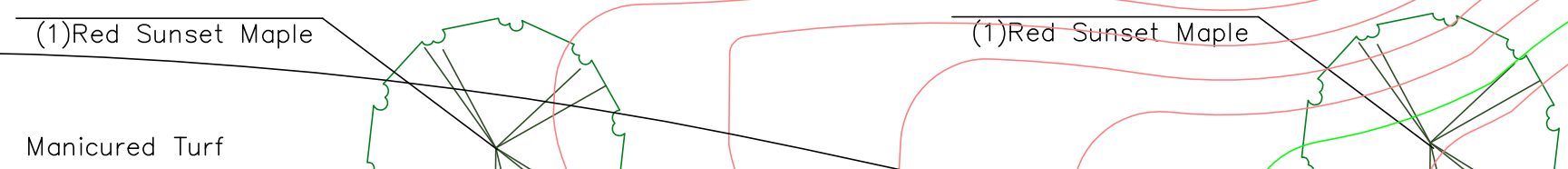
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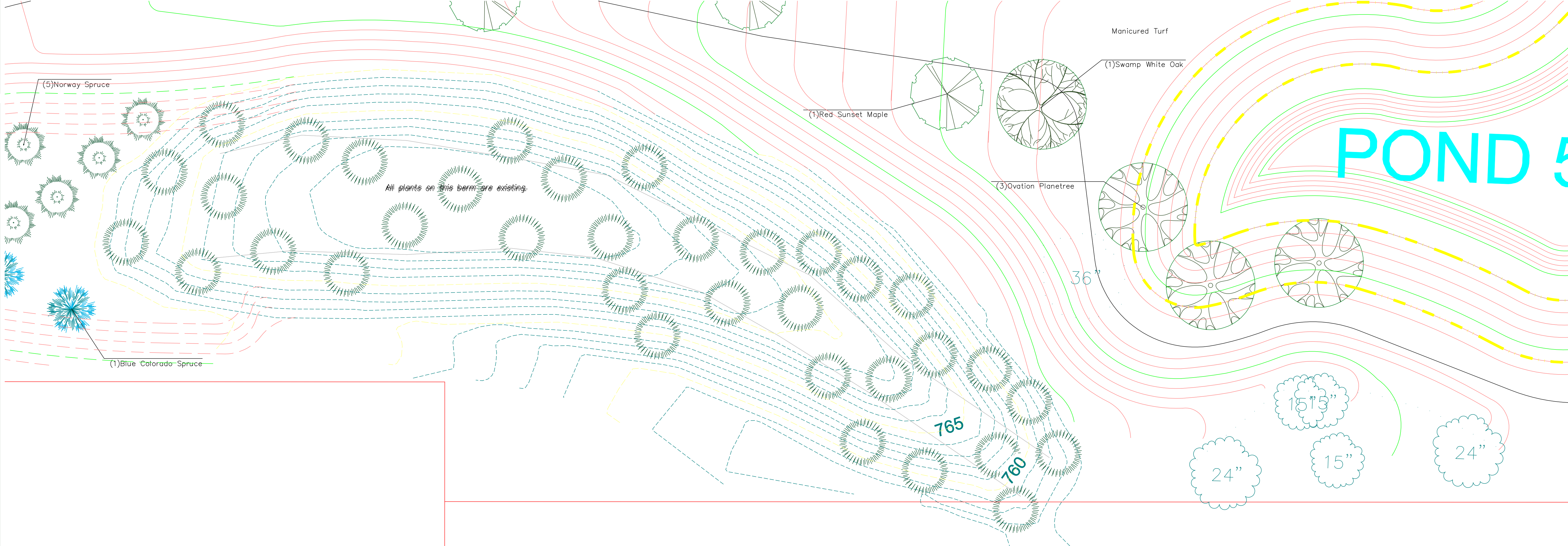
L-115

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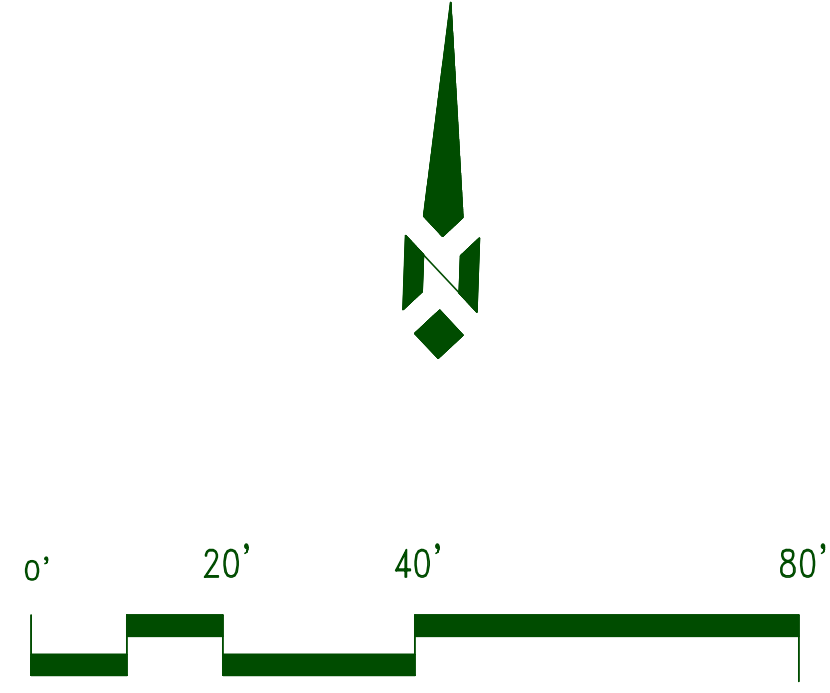
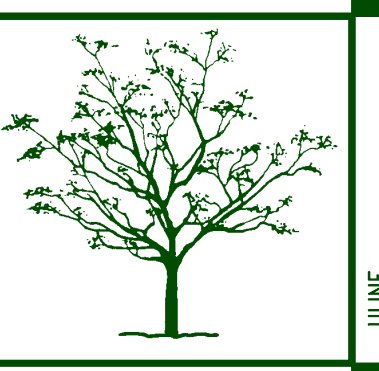
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L-116

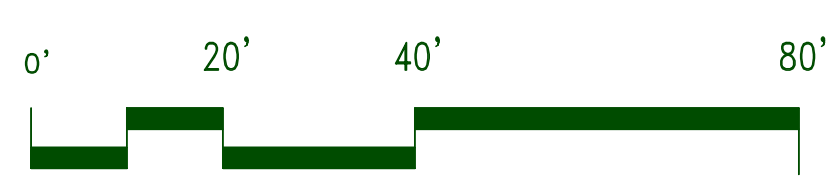
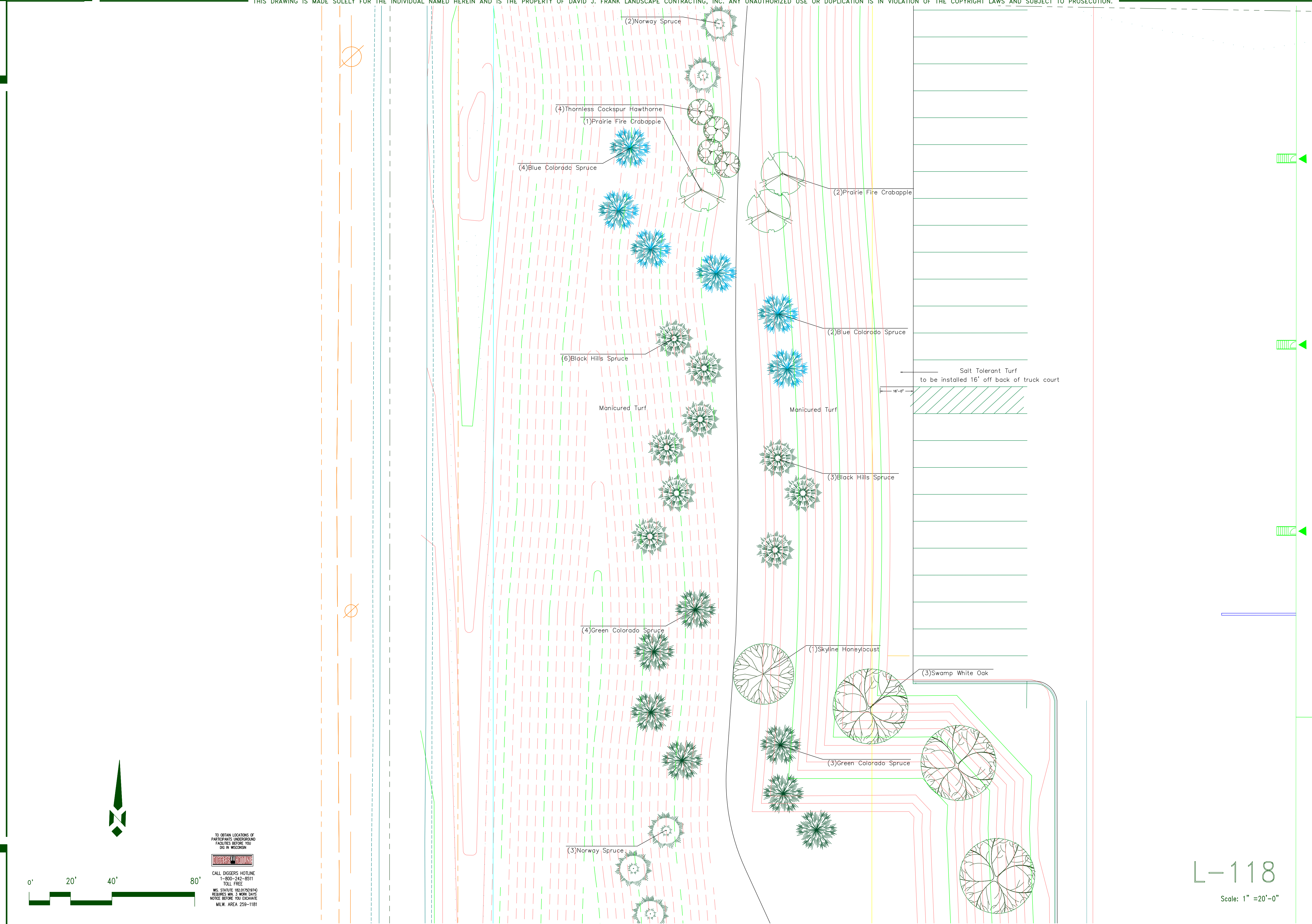
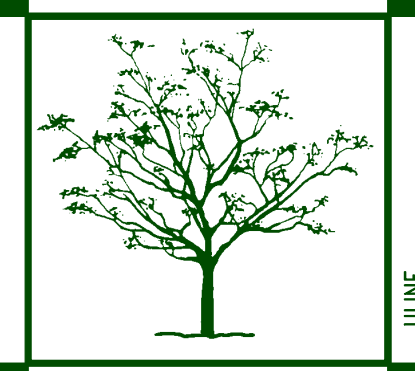
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L-118
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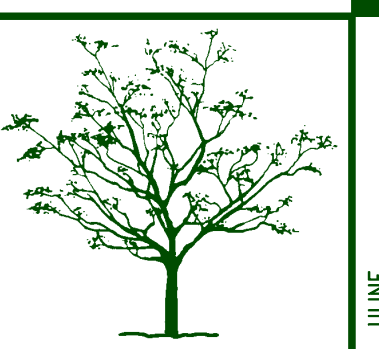


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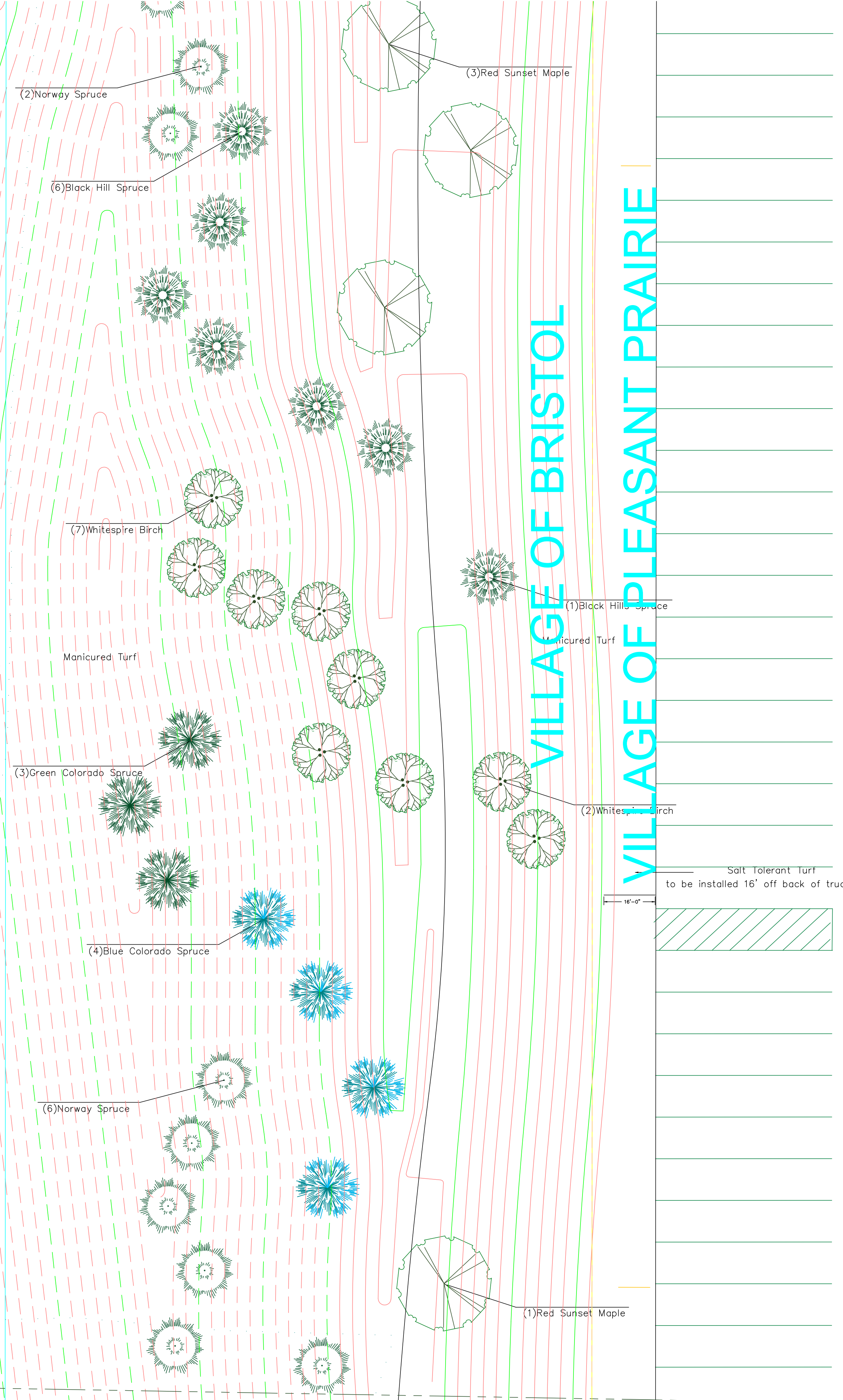
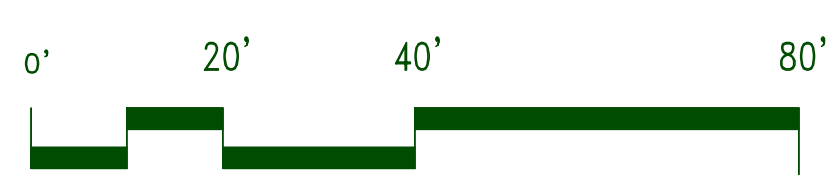
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CONC. MON
 WITH BRASS CAP
 SW COR. OF NW 1/4
 SEC.25, T1N, R21E.
 ELEV. 761.80

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VILLAGE OF BRISTOL
 VILLAGE OF PLEASANT PRAIRIE

L-119

Scale: 1" = 20'-0"
 SOUTH LINE, NW 1/4 SEC. 25-1-21

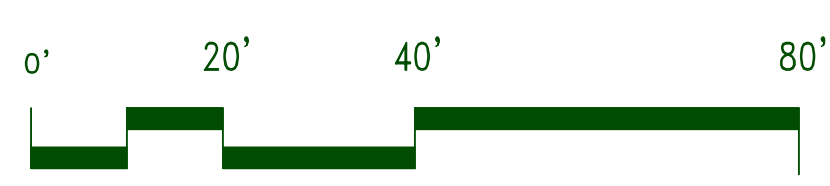
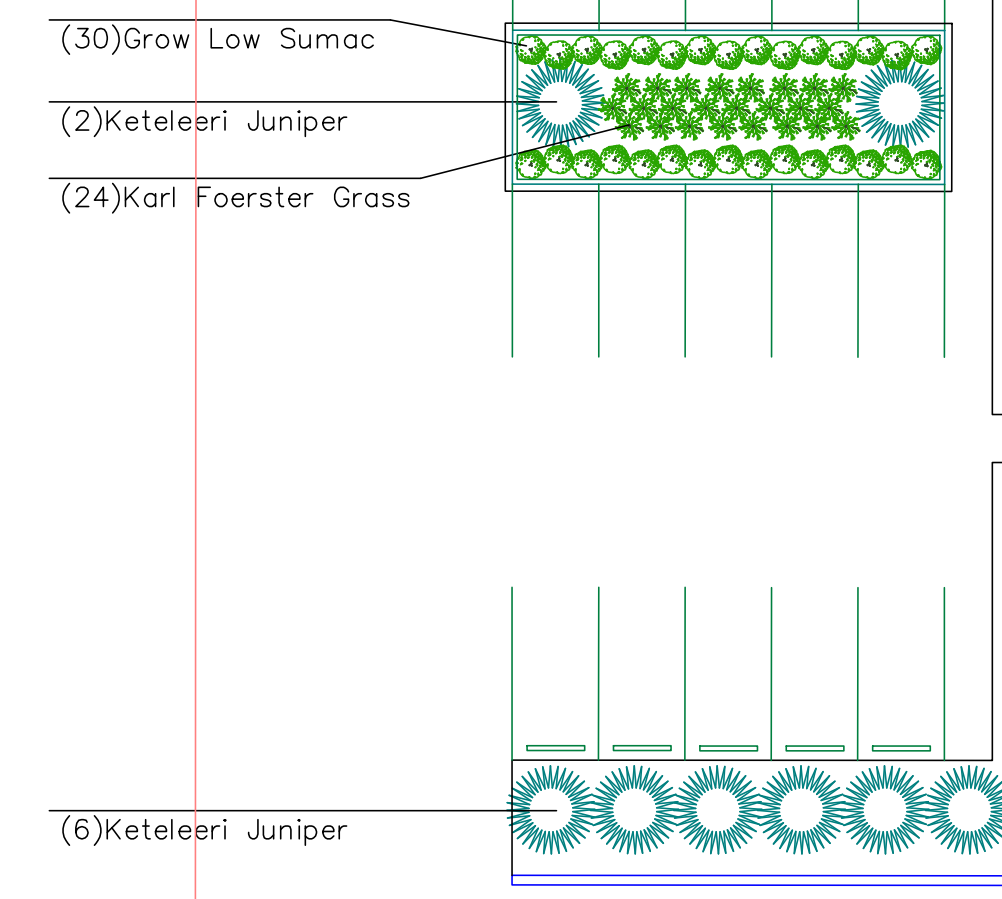
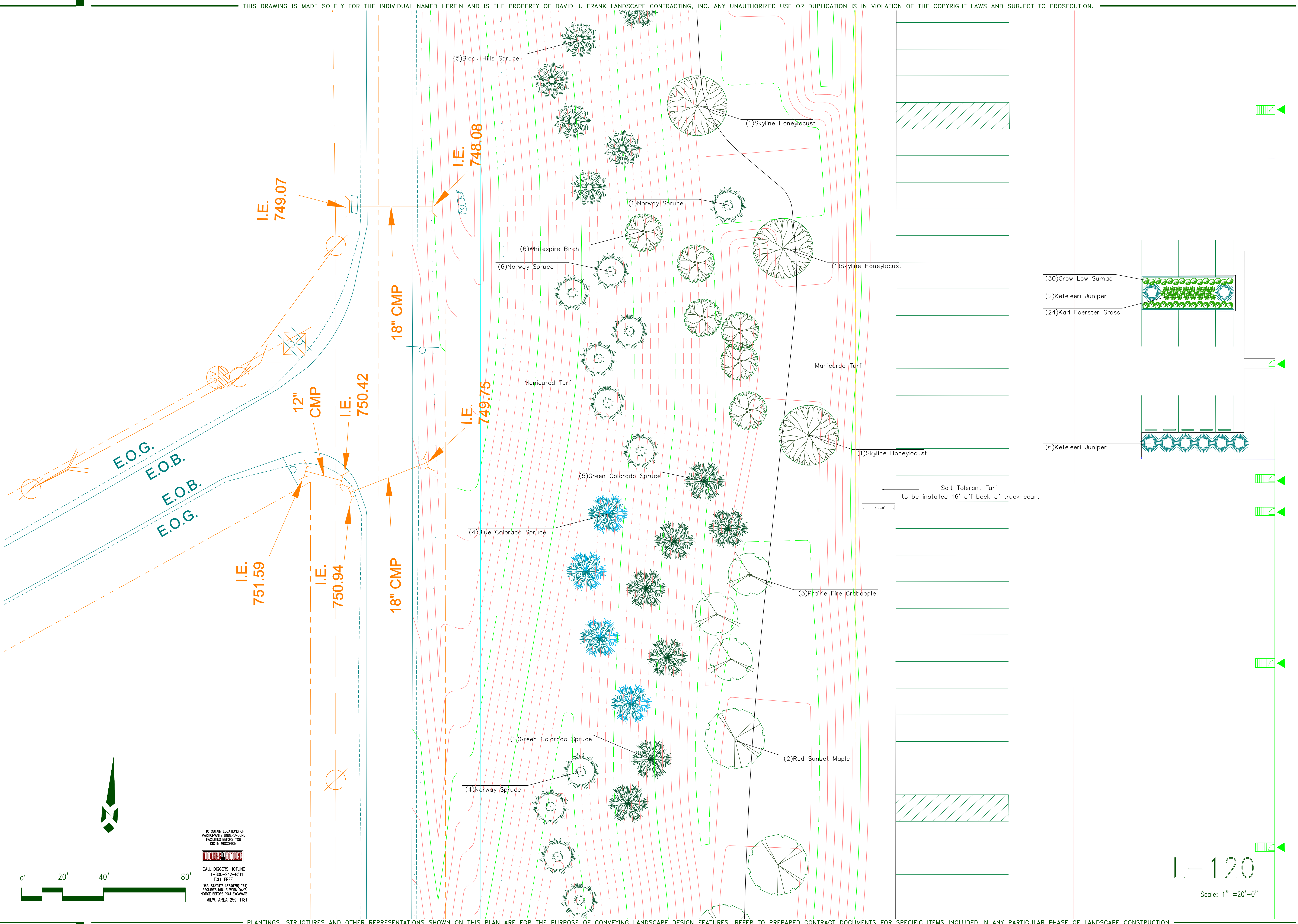
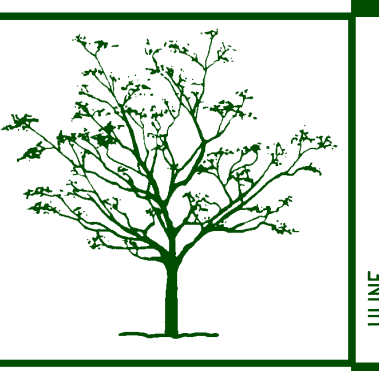


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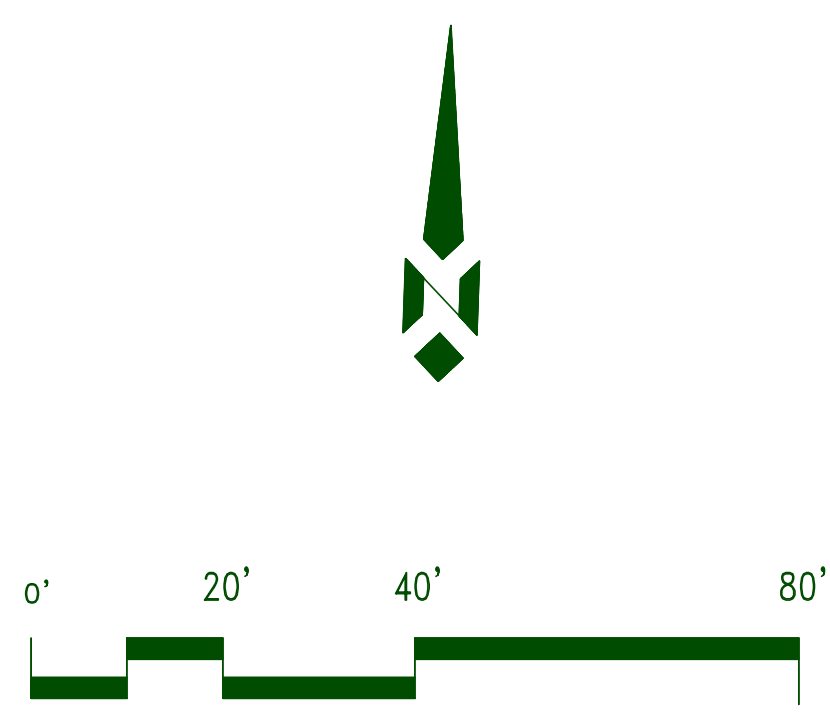
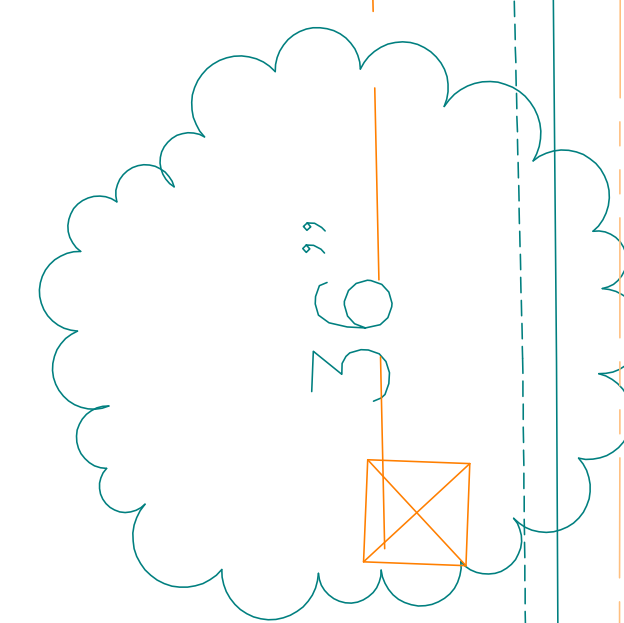
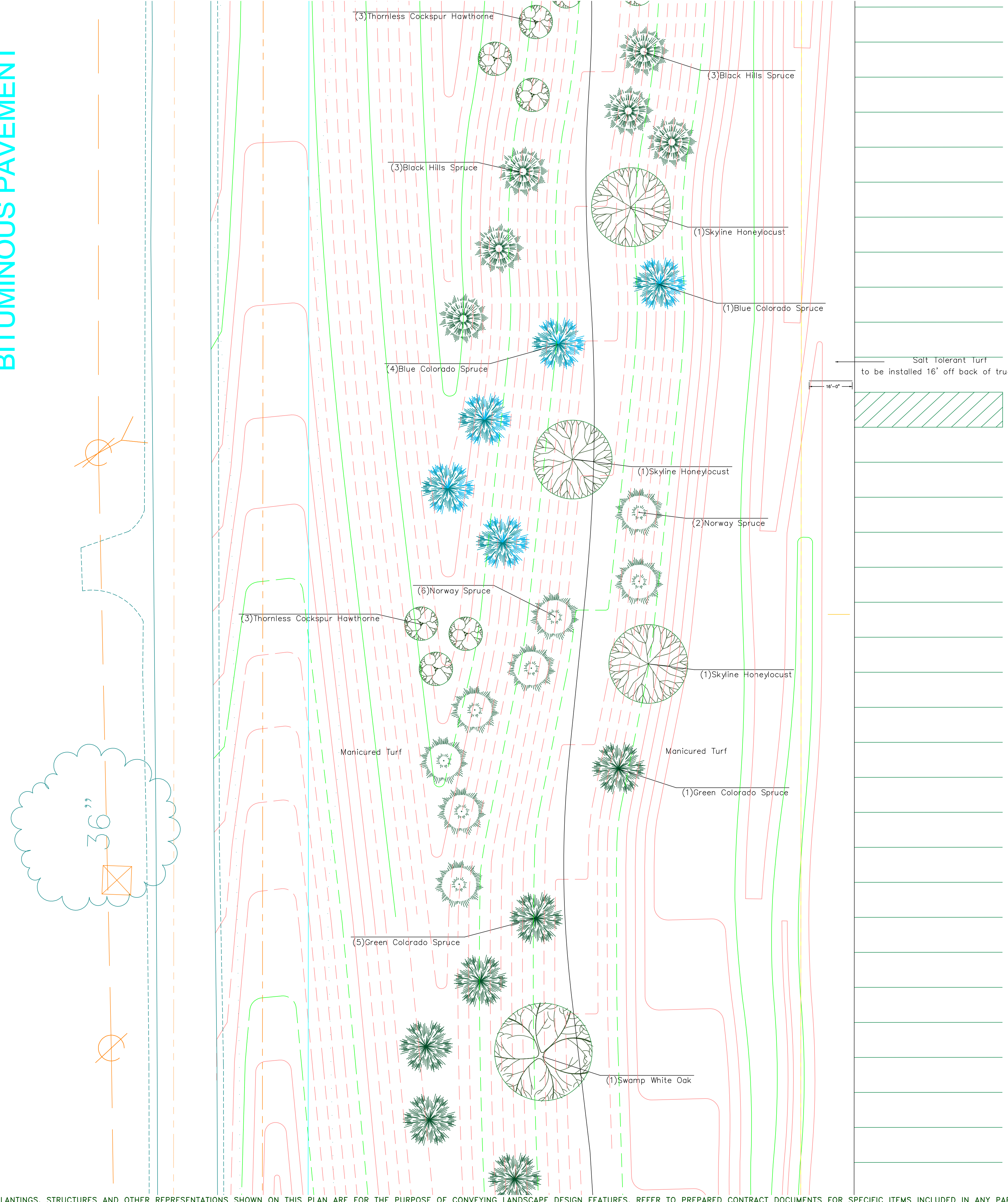
Drawn By
 Sheet 20
 of 24
 Date: 6/19/14
 Revision: 7/9/14



TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS' HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.0175(9/94)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181

L-120
 Scale: 1" = 20'-0"

136TH AVENUE (C.T.H.) (66' WIDE RIGHT-OF-WAY) BITUMINOUS PAVEMENT



TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS' HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175(9)(74)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

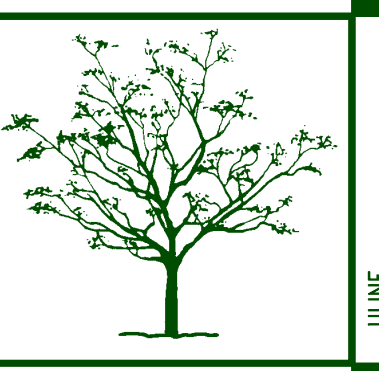


Landscape Development for
Uline Corporation
12575 Uline Drive
Pleasant Prairie, Wisconsin

David J. Frank
Design Group
N120 W21350 Freistadt Road
P.O. Box 70
Germantown, WI 53022
U.S.A.
Tel: (262) 255-4888
Fax: (262) 628-4729
Email: mail@davidjfrank.com
www.davidjfrank.com

Landscape
Development by
Vance C. Barnes
RLA, LEED AP

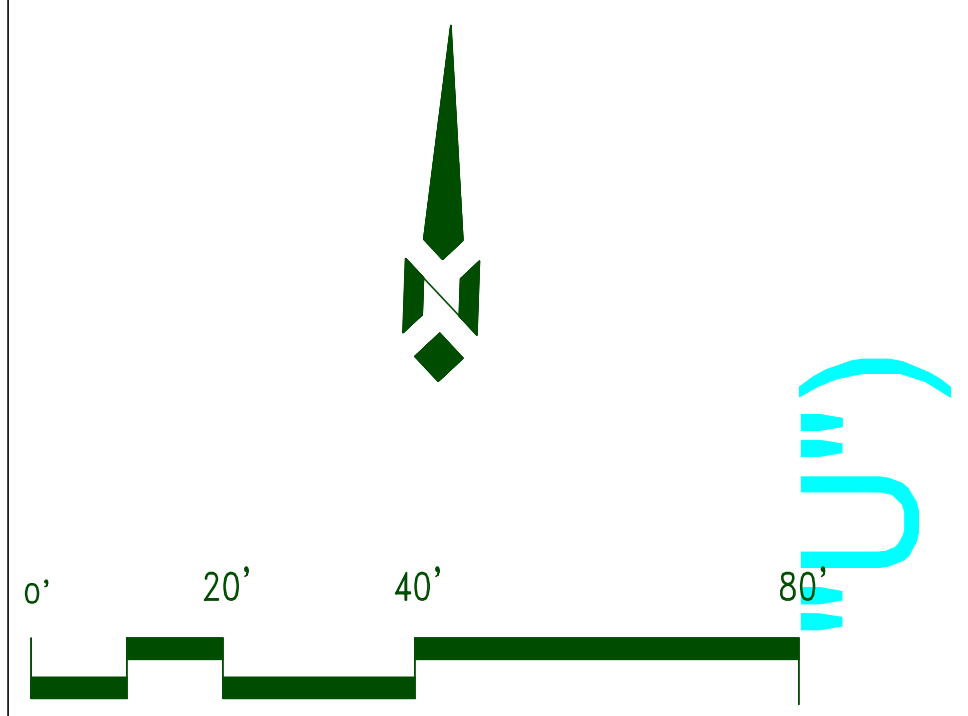
Drawn By
Sheet 21
of 24
Date: 6/19/14
Revision: 7/9/14



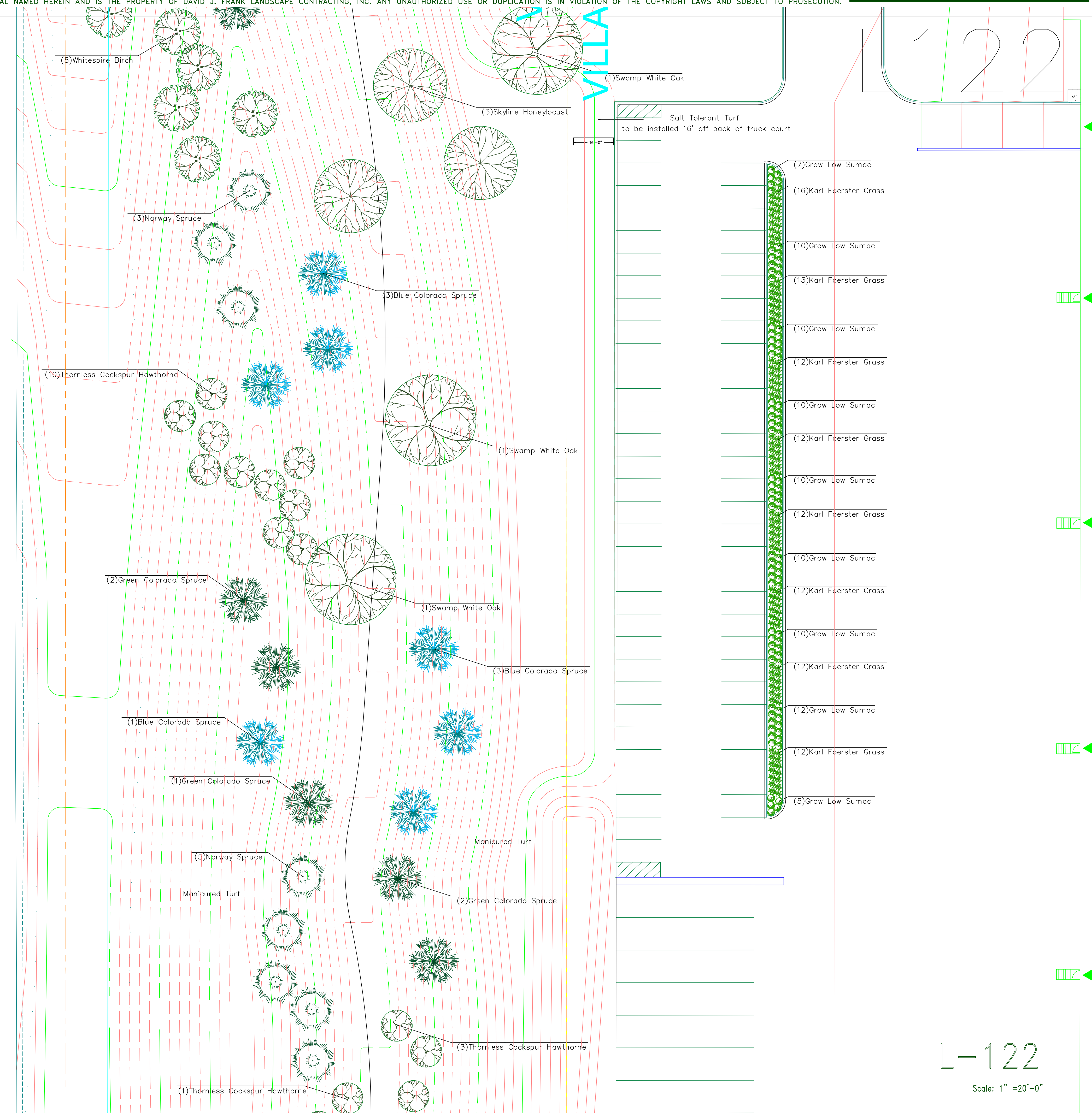
L-121
Scale: 1" = 20'-0"



UNPLATTED LANDS
(OWNER: KENOSHA I LLC)



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DIGGERS NOTICE
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 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.015(9) REQUIRES 14 WORK DAYS NOTICE BEFORE YOU EXCAVATE
 MILW. AREA 259-1181



122

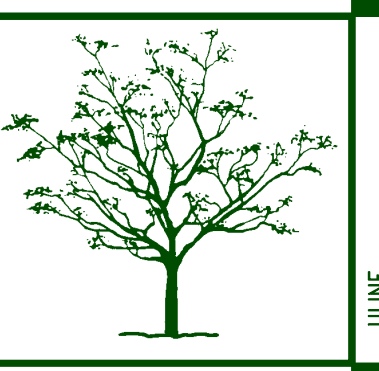
Landscape Development for
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 Sheet 22
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L-122
 Scale: 1" = 20'-0"



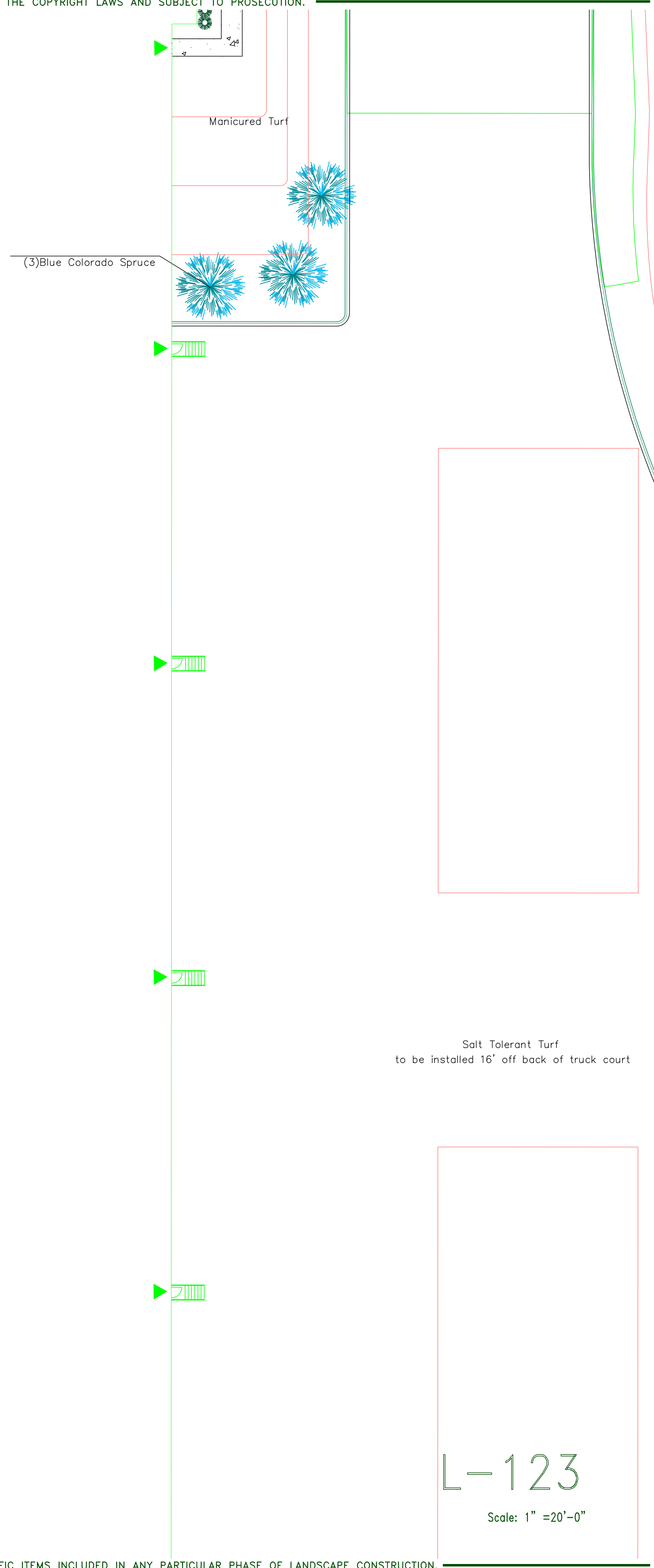
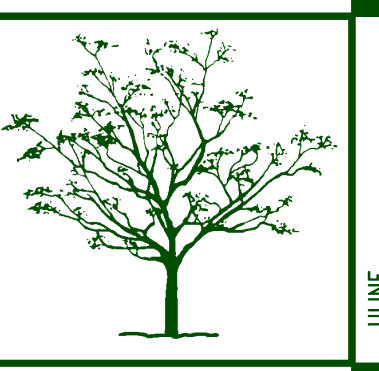


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L-123
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